

TAMWORTH REGIONAL COUNCIL

ANNEXURES for ORDINARY COUNCIL AGENDA

23 JULY 2024

TABLE OF CONTENTS

ITEM	SUBJECT	PAGE NO
7.1	Adoption of the Draft Tamworth Regional Housing Strategy 2024 in Environment and Planning	
Annexure 1	Public Exhibition Statistics and Analysis	2
Annexure 2	Response to Public Submissions	7
Annexure 3	Response to Agency submissions.....	25
Annexure 4	Agency Submissions	33
Annexure 5	Draft Tamworth Regional Housing Strategy 2024 - Post Exhibition	51
7.2	Draft Amendment No. 17 to Tamworth Regional Council Development Control Plan 2010 in Environment and Planning	
Annexure 1	TRDCP Amendment 17 - Final Version for Adoption	140
9.3	Place Management Update - Section 355 Committee Minutes in Governance, Strategy and Finance	
Annexure 1	Place Management Update - Section 355 Committee Minutes.....	263
9.4	Council Investments June 2024 in Governance, Strategy and Finance	
Annexure 1	Investments June 2024	295
9.5	Annual Operational Plan 2023/2024 Budget Variation Report - June 2024 in Governance, Strategy and Finance	
Annexure 1	June 2024 Budget Adjustments	297

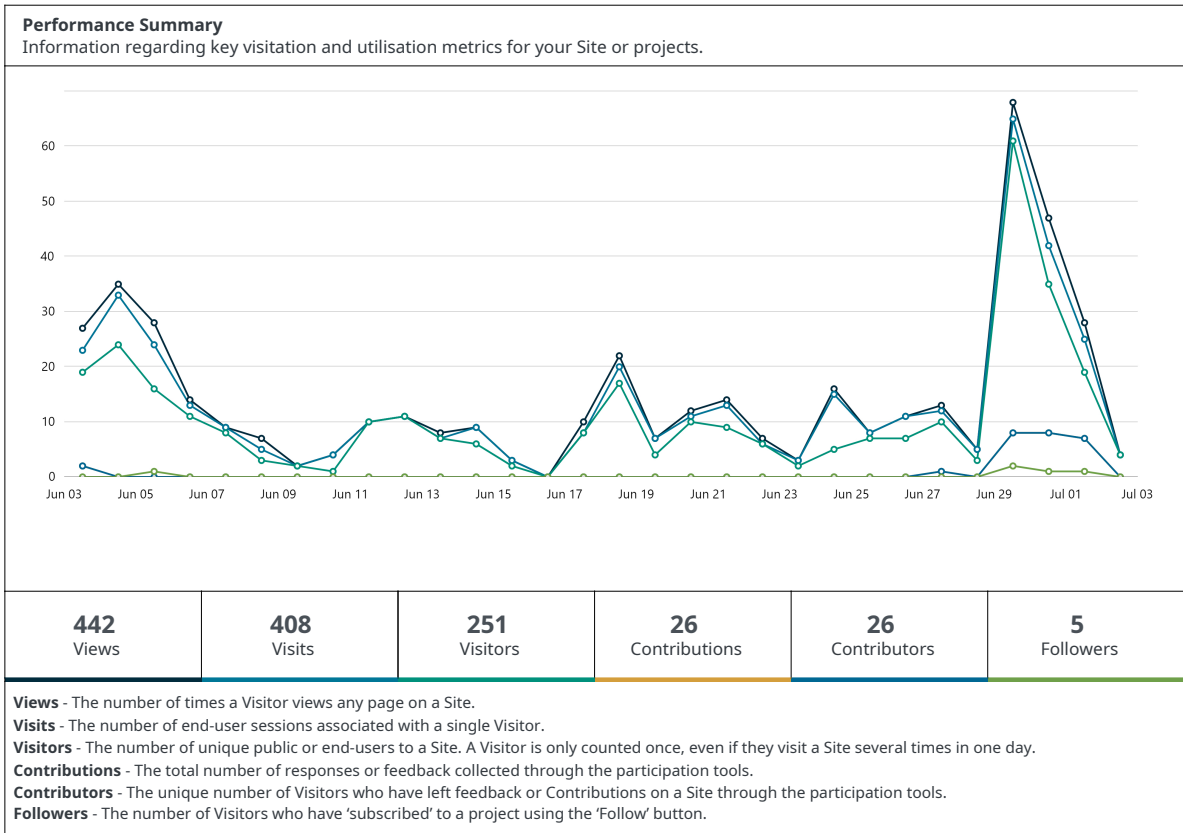
My TRC Online Community

Report Type: Project

Project Name: Have Your Say on future housing needs in the region

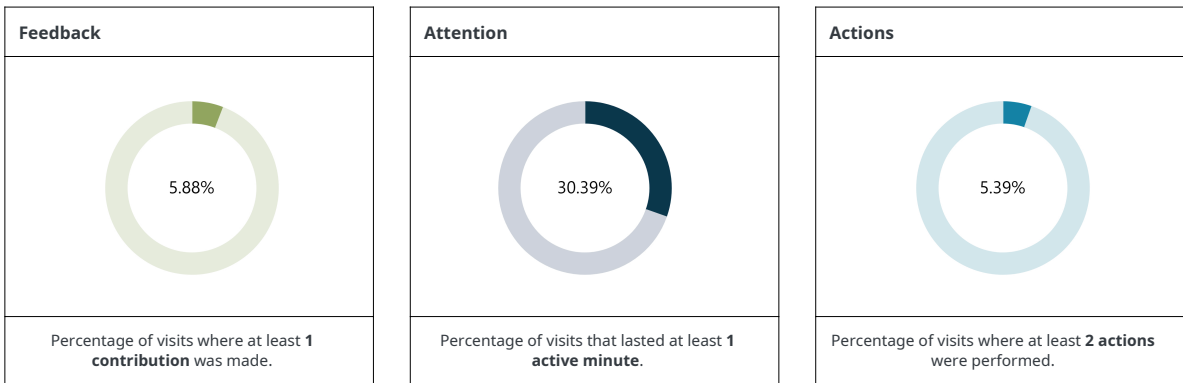
Date Range: 03-06-2024 - 02-07-2024

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Conversions



Information regarding how well your engagement websites converted Visitors to perform defined key actions.



Participation

Information regarding how people have participated in your projects and activities.

Contributions by Activity			
Contributions by Activity is a breakdown of contributions across each tool			
Activity	Contributions		%
 Form	26	<div style="width: 100%;"></div>	100%

Top Activities			
Top Activities is the top 5 tools that received the highest contributions			
Activity	Page Name	Contributions	Contributors
 Form	Have Your Say on future housing needs in the region	26	26
 Form	Have Your Say on future housing needs in the region	0	0

Projects

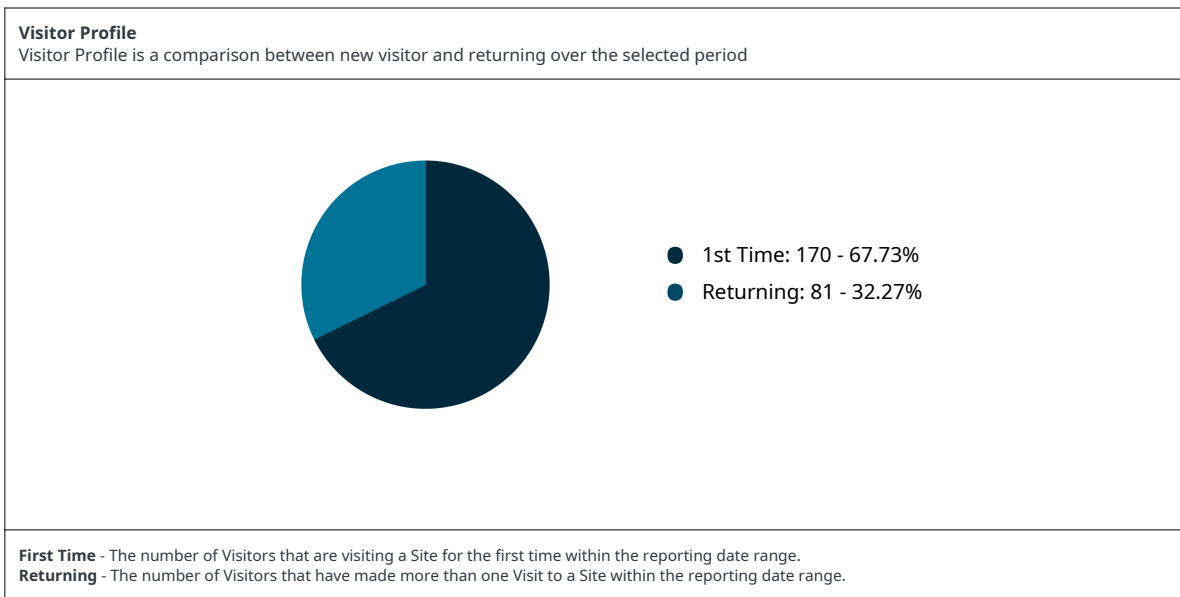
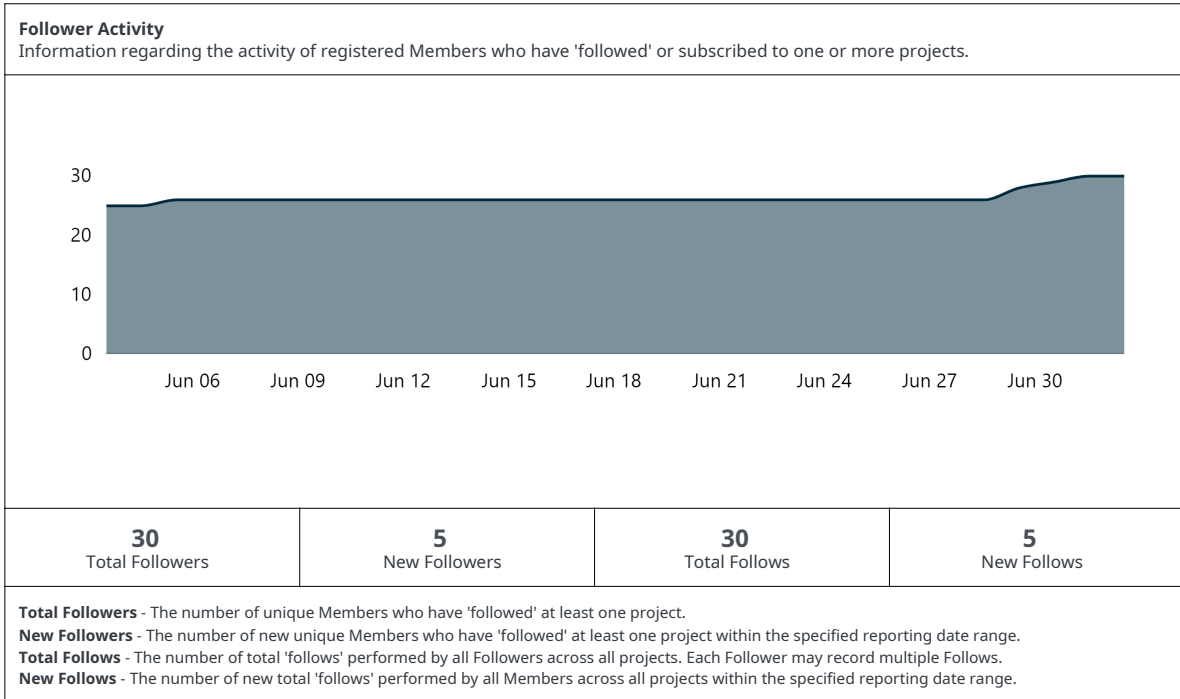
The current number and status of your Site's projects (e.g. engagement websites)

Engagement Time	
0 Days	10 Hours
50 Minutes	
Jul 1st 2024 Peak Visitation Date	Monday Peak Visitation Day

Top Visited Pages			
Summary information for the top five most visited Pages.			
Page Name	Visitation %	Visits	Visitors
Have Your Say on future housing needs in the region	100%	394	245

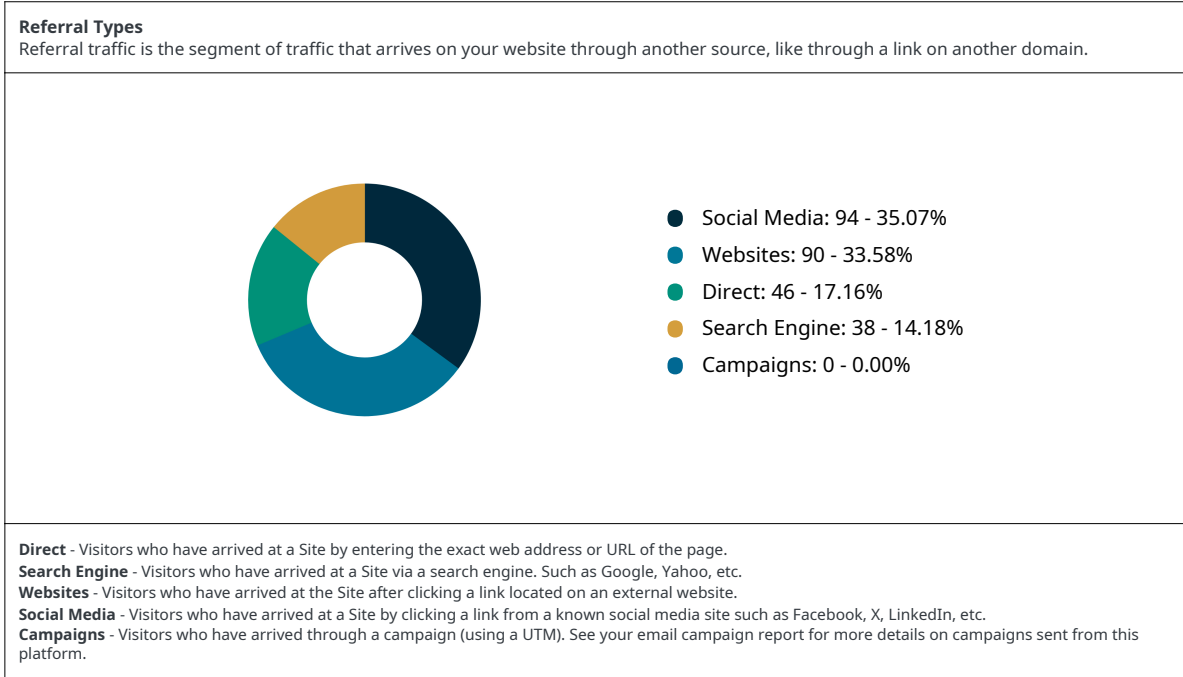
People

Information regarding who has participated in your projects and activities.



Acquisition

Information regarding the method by which Visitors arrived to your Site or projects.



Downloads




Information regarding your downloads, the total set of unique documents downloaded, total downloads of all files, and your top downloads.

 5 Total Documents	 107 Total Downloads
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Top Downloads		
Top file downloads in your selection, ordered by the number of downloads.		
File Title	File Type	Downloads
Draft Tamworth Regional Housing Strategy - 21 May 2024.pdf	PDF	91
Draft Tamworth Regional Housing Strategy - Proposed Exhibition report - 28 May 2024.pdf	PDF	16
Fact Sheet - Draft Tamworth Regional Housing Strategy.docx	DOCX	0
Oxley Lookout new.jpg	JPG	0
Houses.jpg	JPG	0

Email Campaigns

Information regarding your email campaigns, your total campaigns, the total number of recipients, and your top campaigns by click-through rate (clicks as a percentage of total recipients).

 0 Email Campaigns Sent	 0 Total Recipients	 0% Click-through Rate
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No Data Available

Annexure 2 - Response to Submissions

SUBMISSION 1	
Summary	Response
Supports the recommendations of the draft Tamworth Regional Housing Strategy (draft housing strategy), but would like see checks and balances on rezoning from low density residential to general residential to avoid “checkerboard” / “islands” of general residential land.	<p>Action 1.3 of the draft housing strategy is to “review areas zoned R2 Low Density Residential to identify land suitable for up-zoning to R1 General Residential or reduction in minimum lot size”.</p> <p>A key part of this Action is that land must be suitable for up-zoning. The consideration of this suitability will include the proximity to existing residential areas to capitalise on existing infrastructure. This approach will address concerns with “checkerboard” / “island” re-zonings.</p>
SUBMISSION 2	
Summary	Response
States that there is no affordable housing in Tamworth and describes the difficulties of paying rent and other essentials such as groceries.	The draft housing strategy has identified the same need for affordable and diverse housing as the submission. In response to the suggestions, Action 3.1 of the draft housing strategy is for Council to engage with other agencies and partner with community housing providers to facilitate the supply of affordable and low-cost housing.
Suggests housing supply could be provided through Council built/owned housing, “Tiny Homes” or kit homes on rural properties.	‘Priority 2: Increase diversity and choice in housing’ of the draft housing strategy recommends continued advocacy for reforms to “Tiny Homes” and modular buildings. At this point in time, it is not considered necessary for Council to directly intervene in the housing market and become a land developer.
Recommends that solar panels should be mandatory on rental properties to reduce electricity costs.	The minimum standards for rental properties, including electricity requirements, are determined at a State level through the <i>Residential Tenancies Act 2010</i> . The draft housing strategy includes a number of Actions to advocate to the NSW Government for improvements to housing.

SUBMISSION 3	
Summary	Response
States that there are no blocks of land in Manilla and houses are in short supply.	A review of Manilla indicates that there is a reasonable supply of vacant but under-utilised zoned land available for development. A Precinct Plan has been developed for Manilla and a number of Actions of the draft housing strategy will further assist with removing the barriers to the development of this land.
Would like the opportunity to put in a granny flat or "Tiny Home" in Manilla.	The majority of the Manilla township is zoned R1 General Residential under the <i>Tamworth Regional Local Environmental Plan 2010</i> (TRLEP 2010). Both dual occupancies and secondary dwellings are permitted with consent in the R1 General Residential zone.
SUBMISSION 4	
Summary	Response
Recommends that Council review schools before adding more houses.	The provision of public schools and determination of school zones is undertaken by the NSW Department of Education (DPE). As part of Council's Strategic Planning processes, DPE are regularly engaged to ensure that future school requirements are identified by DPE for continued population growth in the region.
SUBMISSION 5	
Summary	Response
Supports granny flats on rural zoned blocks.	In planning legislation, granny flats are defined as 'secondary dwellings'. Action 2.5 of the draft housing strategy, as amended following agency responses, address the permissibility of secondary dwellings in rural zones.
SUBMISSION 6	
Summary	Response
Dual occupancy blocks.	Dual occupancy development is permitted across the R1 General Residential zone. A number of Actions are proposed within the draft housing strategy that promote infill housing such as dual occupancies, including reviewing subdivision provisions and

	identifying well-located areas (e.g., Bridge Street) for higher densities.
SUBMISSION 7	
Summary	Response
Considers that land on Regans Road, Kingswood should be able to be developed into 1-acre (4,000m ²) lots.	<p>Under the TRLEP 2010, the land around Regans Road at Kingswood is currently zoned R5 Large Lot Residential with a minimum subdivision lot size of 2 hectares.</p> <p>The majority of the developed Kingswood Estate is also zoned R5 Large Lot Residential under the TRLEP 2010, but has a minimum subdivision lot size of 4,000m².</p> <p>Action 1.2 of the draft housing strategy is to identify opportunities for Council to lead Actions to unlock potential land supply. It is considered that land around Regans Road can be assessed in Phase 2 of the review of the TRLEP 2010 in the context of the wider Kingswood area.</p>
SUBMISSION 8	
Summary	Response
Supports infill strategies for the Tamworth CBD and surrounding villages/area. Also supports secondary dwellings on farms to support succession.	The support for infill strategies and secondary dwellings on farms is noted.
Would like Council to strengthen controls on multi-storey development, including laundry facilities, sound proofing and insulation and social impacts.	<p>The <i>Tamworth Regional Development Control Plan 2010</i> (TRDCP 2010) and NSW Apartment Design Guide contain provisions for balconies on multi-story unit developments, which can be used as drying areas instead of mechanical dryers. Standards for insulation and sound-proofing are governed through state and national standards such as BASIX and the Building Code of Australia.</p> <p>Action 4.1 of the draft housing strategy recommends additional TRDCP 2010 provisions for safer-by-design and other amenity standards, which contribute to liveability and reduce social impacts.</p>
Identifies the need for innovative affordable solutions for short term temporary workers, which should be integrated with a public transport strategy.	The need for innovative solutions to temporary workers integrated with public transport is supported. This would be investigated as part of Council's collaboration with the NSW Department of

	Planning, Housing and Infrastructure (DPHI) under Action 2.6 of the draft housing strategy.
Considers it vital to retain development footprint to maintain current green spaces, rural area and farm settings.	As the Tamworth city and other communities evolve and grow over time, the impact on green spaces, rural areas and farm settings, can be minimised through greater in-fill development. This would be facilitated through a number of Actions of the draft housing strategy.
SUBMISSION 9	
Summary	Response
Considers that more quality villa/duplex type of housing is required for retirees looking to down size.	A number of Actions within the draft housing strategy are targeted towards in-fill and diverse housing, which would assist retirees looking to down size.
SUBMISSION 10	
Summary	Response
Consider there should be more availability to locating "Tiny Homes" in the area.	<p>"Tiny Homes" are an alternate form of housing that has seen increasing popularity in recent years. Along with manufactured homes, caravans and modular housing, "Tiny Homes" can provide cost-effective housing. The draft housing strategy recognises the complex legal and planning framework around this housing that frustrates both Council and residents.</p> <p>The NSW Government commenced a review of this style of housing in 2023 and Action 2.3 of the draft housing strategy recommends continued advocacy by Council for completion of these reforms.</p>
SUBMISSION 11	
Summary	Response
Infill development should be looked at instead of sprawling estates and current infrastructure needs addressing before adding more mass housing.	The draft housing strategy contains a number of Actions aimed at promoting in-fill housing. The draft housing strategy does not propose to restrict the development of new areas, but recognises that there is currently 23 years of zoned land available. Any new residential areas need to be considered in the context of infrastructure and structure planning.

<p>All shops should have accommodation above them.</p>	<p>Shop top housing is permitted under the TRLEP 2010 and Action 2.4 of the draft housing strategy proposes to review floor space ratio provisions to ensure this type of development is not restricted.</p>
<p>SUBMISSION 12</p>	
<p>Summary</p>	<p>Response</p>
<p>Believes that all developments should be placed on hold until after the election.</p>	<p>The matter of all developments being placed on hold is not within the scope of the draft housing strategy.</p> <p>In the context of the draft housing strategy, this project commenced early 2023 during the current elected Councillors term. The project has been informed by a comprehensive community engagement process throughout 2023 including media, workshops and a 'Have your Say' campaign with over 300 responses. The adoption of the draft housing strategy is a culmination of this work.</p>
<p>SUBMISSION 13</p>	
<p>Summary</p>	<p>Response</p>
<p>Considers that the draft housing strategy needs to encourage more diverse housing as not everyone is after a large 4+ bedroom house.</p>	<p>"Priority 2: Increasing diversity and choice in housing" is directly aimed at providing alternatives to the traditional 4+ bedroom house and contains Actions to this effect.</p>
<p>Observes that developer-imposed Section 88b restrictions affect the cost of construction and results in poor housing design.</p>	<p>Council cannot prevent, and does not enforce, developer-imposed covenants.</p>
<p>Considers that Council needs to make greater efforts to enable housing stock to be purchased by occupiers, not just investors. Identifies 'dual key' developments as an option for diversification and ownership, but are restricted by being located on a single title (not subdivided).</p>	<p>Whether housing is purchased or constructed by an investor or an occupier is outside the control of Council. In response to the specific matter of 'dual-key' investments on a single title, Council already has local provisions in place to allow this subdivision and the draft housing strategy proposes to expand these provisions (Action 2.1).</p> <p>It is noted that many of the dual key developments undertaken in the last 18 months have been undertaken through a state approval pathway, which does not benefit from the subdivision provisions of the TRLEP 2010.</p>

Identifies that the proposed Heritage Conservation Areas in East Tamworth and West Tamworth as part of the Phase 1 Review of the TRLEP 2010 were ideally placed for in-fill housing, but will be restricted by heritage provisions.	In relation to the Heritage Conservation Areas proposed under the Phase 1 Review of the TRLEP 2010, these have not been adopted by Council and remain under review. Regardless, it must be noted that a Heritage Conservation Area does not prohibit development, but rather ensures heritage significance is a consideration for a broad range of developments and activities.
SUBMISSION 14	
Summary	Response
Recommends that supporting infrastructure and essential services need to be secured before any increase in housing.	One of the benefits of in-fill development is that it takes advantage of existing infrastructure. Furthermore, by encouraging it in well-located areas such as West Tamworth and North Tamworth it is within close proximity of essential services. For other housing developments, it is agreed that supporting infrastructure and essential services need to be secured. This undertaken through Action 1.1 and Action 1.2 of the draft housing strategy.
Considers that lifestyle blocks in existing estates should not be subject to changes in density levels.	Action 1.3 of the draft housing strategy is to “review areas zoned R2 Low Density Residential to identify land suitable for up-zoning to R1 General Residential or reduction in minimum lot size”. Any review would be undertaken on a case-by-case basis and involve consultation with the local residents.
SUBMISSION 15	
Summary	Response
Considers that minimum standards should be applied to rental housing.	The minimum standards for rental properties are determined at a State level through the <i>Residential Tenancies Act 2010</i> . The draft housing strategy includes a number of Actions to advocate to the NSW Government for improvements to housing.
SUBMISSION 16	
Summary	Response
Considers the draft housing strategy a step in the right direction and happy there is a strong focus on the need for diverse, medium density housing options in our	These positive comments are noted.

<p>region, as well as a need for social, community and affordable housing.</p>	
<p>Recommends an emphasis on exploring alternative water supply and ensuring Tamworth's water security, as well as expanding water efficiency measures.</p>	<p>The draft housing strategy recommends Actions in relation to both water security and water efficiency measures. In addition, the draft housing strategy will be complimented by other Council strategies and water sustainability measures.</p>
<p>Recommends a requirement that social and affordable housing is a requirement for, and spread out within, new subdivisions.</p>	<p><i>State Environmental Planning Policy (Housing) 2021</i> already provides state-wide incentives, such as additional floor space provisions, to provide social and affordable housing within new development. Ultimately, whether developers take up this incentive is largely driven by market forces.</p> <p>Council also needs to be wary of mandating that developers provide social and/or affordable housing in new developments. Guidelines published around affordable housing by DPHI establish that such initiatives must not impact the viability of development.</p> <p>At this point in time, it is recommended that Council does not pursue any form of compulsory provisions of affordable and/or social housing. Rather, should the draft housing strategy be adopted it would be routinely monitored. Over time, should Council determine that social and affordable housing remains an issue for the region, the matter of mandating affordable and/or social housing on new developments can be revisited.</p>
<p>Disagrees with the possibility of reducing contributions or infrastructure requirements.</p>	<p>Actions 3.5, 3.6 and 3.7 relate to the review and investigation of contributions and infrastructure costs.</p> <p>The intent of these types of reviews is not to achieve a lesser outcome or shift costs to Council or the community. Rather, these types of investigations can identify requirements that may be outdated or may create opportunities for creative thinking and alternative solutions. It may be possible to achieve the same outcomes with reduced costs for developers. This in turn would incentivise housing.</p>
<p>Considers that new housing must be supported by adequate social infrastructure</p>	<p>An important aspect of planning for social infrastructure are projections of population and housing. The draft housing strategy</p>

(schools, community spaces, healthcare facilities).	includes these projections which allows both Council and the State Government to identify priorities and funding requirement for social infrastructure. In addition, as part of Council's strategic planning process for new housing areas consultation with other agencies, including the Department of Education, is undertaken to identify infrastructure requirements.
Recommends that Council applies environmental standards to housing, including highest BASIX requirements and green star ratings, banning black roofs and incorporation of room for deep-rooted trees.	Priority 4 of the draft housing strategy contains Actions relating to environmental standards for housing, including tree planting and urban heat. The requirement for higher BASIX requirement is outside the scope of Council, as BASIX is a State government controlled program.
SUBMISSION 17	
Summary	Response
Notes that residents have not mentioned "shop top housing" and do not want multi-storey units in the CBD with associated impacts.	Shop-top housing and in-fill development within the CBD have been supported by other submissions to the draft housing strategy. This form of alternate housing is not unreasonable within Tamworth and all options should be considered. It is reasonable to be concerned about potential impacts and they are best considered and addressed through the merit-based strategic and development assessment planning process.
Notes that residents want affordable low-medium density housing.	The draft housing strategy includes a number of Actions aimed at supporting and delivering affordable and low-medium density housing.
Notes that residents don't want to destroy the country ambience or character of the region.	No specific Action/s of the draft housing strategy have been identified by the submission maker as having an adverse impact on the country ambience or character of the region. In in this regard, maintaining the character of the region will be an important consideration as Council and other agencies works towards implementing the Actions.
Notes that residents are extremely concerned about DA assessment times.	The concerns with DA assessment times are acknowledged and Priority 3.2 of the draft housing strategy (Reduce costs associated with the planning system) confirms Council's commitment to reducing the 'red tape'

	associated with development, whilst still ensuring appropriate outcomes are achieved for the community. Ultimately, no easy-fix exists for assessment times, which are often at the mercy of the larger NSW Planning System (e.g., Planning Portal, one-size fits all approach).
SUBMISSION 18	
Summary	Response
Supports additional housing on farms and foresees the need to accommodate different generations of the farming partnership.	The support for additional housing on farms is noted, with secondary dwellings on rural properties a recommendation Action of the draft housing strategy.
SUBMISSION 19	
Summary	Response
Comments that the draft housing strategy contains no statistics on homelessness or need for housing.	Homelessness statistics and associated need for housing is identified in the 'Meeting Housing Needs' and ' Priority 3.1 Support social and affordable rental housing' sections of the draft housing strategy.
Considers that new subdivisions should include social and affordable housing.	<p><i>State Environmental Planning Policy (Housing) 2021</i> already provides State-wide incentives, such as additional floor space provisions, to provide social and affordable housing within new development. Ultimately, whether developers take up this incentive is largely driven by market forces.</p> <p>Council also needs to be wary of mandating that developers provide social and/or affordable housing in new developments. Guidelines published around affordable housing by DPHI establish that such initiatives must not impact the viability of development.</p> <p>At this point in time, it is not recommended that Council pursue any form of compulsory provisions of affordable and/or social housing. Rather, should the draft housing strategy be adopted it is should be considered a living document and routinely monitored. Over time, should Council determine that social and affordable housing remains an issue for the region, the matter of mandating affordable and/or social housing on new developments can be revisited.</p>

<p>Recommends that small houses should be located in both existing populated areas and new subdivisions.</p>	<p>The Actions of the draft housing strategy to support infill-housing apply across the local government area, to both existing and new residential areas.</p>
<p>Recommends a number of energy efficiency outcomes, including banning fossil fuels (gas), energy audits, no black roofs, community renewable energy.</p>	<p>A number of energy efficiency recommendations from the submission have been captured under Priority 4.2 and associated Actions of the draft housing strategy.</p> <p>It is considered that some recommended measures (banning fossil fuels, community renewables) require further consideration and possible state / federal involvement. Such measures can also be pursued by Council without the need for a specific Action within the draft housing strategy.</p>
<p>Identifies the need for safe laneways and pathways for community connections, with landscaping for respite from the heat.</p>	<p>Priorities 4.2 and 4.3 and associated Actions have related Actions in relation to connected communities and urban heat.</p>
<p>Identifies water sustainability as an important issue and encourages Council to continue to pursue various options.</p>	<p>The draft housing strategy recommends Actions in relation to both water security and water efficiency measures. In addition, the draft housing strategy will be complimented by other Council strategies and water sustainability measures.</p>
<p>Supports all of the CBD housing developments in the draft housing strategy.</p>	<p>The support for CBD housing developments is noted.</p>
<p>Recommendations that TRC become a housing education resource centre.</p>	<p>Action 4.6 of the draft housing strategy is for Council to “Work with the local development industry to trial and showcase locally relevant sustainable home design responses”.</p>
<p>Considers that infrastructure provisioning should be at the cost of the developers with no concessions.</p>	<p>Actions 3.5, 3.6 and 3.7 relate to the review and investigation of contributions and infrastructure costs.</p> <p>The intent of these types of reviews is not to achieve a lesser outcome or shift costs to Council or the community. Rather, these types of investigations can identify requirements that may be outdated or may create opportunities for creative thinking and alternative solutions. It may be possible to achieve the same outcomes with reduced costs for developers. This in turn would incentivise housing.</p>

SUBMISSION 20	
Summary	Response
Identifies that the TRLEP 2010 review, TRDCP 2010 review and Draft Tamworth Integrated Transport Plan have been exhibited at the same time as the draft housing strategy. There are elements common between the exhibition and comments should be cross-referenced between the exhibitions.	This comment is noted. Discussion has been provided below on issues raised in submissions made to other plans, which are of relevance to the TRHS.
States that a fundamental premise of Blueprint 100 is the achievement of a more compact city, which drives Tamworth towards Big City layouts and densification at the expense of a country ambience of space. Considers there is a balance, but it is not achieved by taking expedient solutions.	The benefits of infill development and densification is it that limits urban sprawl into rural areas that can impact farmland and country ambience. As identified by the submission, a balance is ultimately required between infill development and new subdivision areas. As subsequent reviews and investigations are undertaken in accordance with the draft housing strategy, maintaining country ambience and character of the Tamworth region will remain considerations of Council.
Considers the draft housing strategy deficient in that connectivity appears to not have been considered with people in social and affordable tending to be more reliant upon walking/cycling and public transport.	Connectivity has been addressed in Priority 4.3 of the draft housing strategy. It is considered that this Priority is not independent and can work together with other Priorities and Actions to deliver social and affordable housing.
Considers the draft housing strategy deficient as it does not consider historic failures associated with aggregating social and affordable housing into large enclaves.	In a time when both social and affordable housing are of critical importance, it is not considered necessary for the draft housing strategy to focus on historic negativities associated with this type of housing. The draft housing strategy does not advocate for repeating poor outcomes from the past.
Considers the draft housing strategy deficient as current land development is predominantly undertaken by the private sector with very little to stop opportunists taking advantage of opportunities at the expense of others.	It is agreed that land development is predominantly undertaken by the private sector. However, this incorporates a broad spectrum of developers, from big companies to 'mums and dads'. Actions within the draft housing strategies benefit all developers, regardless of potential opportunists. The draft housing strategy also advocates for increased social and affordable housing delivered through agency partnerships and community housing providers. This would reduce the reliance on the private sector.

<p>Considers the draft housing strategy deficient as Tamworth has experienced down-sizing of lots and it remains to be seen if there are proven decreases or savings for developers.</p>	<p>From a land use planning perspective, reduced lot sizes result in increased land for housing (i.e., more lots), better use of infrastructure and provides incentives for in-fill development. Any potential savings for developers associated with reduced lot sizes are of secondary concern to housing initiatives.</p>
<p>Does not support reduced parking rates for infill development, or the review of TRC requirement and specifications. Considers that these run counter to the wider amenity of the community and provide a two-tier streetscape.</p>	<p>The reduced parking rates are identified for well-located, highly accessible areas and there is no evidence to suggest any adverse amenity impact the community.</p> <p>The potential creation of a two-tier streetscape is unclear. Town planning by its very nature (e.g., different zones, lot sizes, setbacks. etc.) creates different tiers within an urban environment in response to the characteristics of an area. The draft housing strategy is no different in this respect.</p>
<p>Identifies that the TRHS talks of green plantings, green streets and heat islands, but considers small lots are part of the heat problem, noting the lack of space for plantings.</p>	<p>It is acknowledged that smaller lots do have less space for traditional 'open' green space'. However, there are other cooling mechanisms that can be investigated for smaller lots, including type of building materials (e.g., lighter roofs), reduced parking (i.e., less hard stand = less heat), green (landscaped) walls/roofs and street plantings outside of lot boundaries.</p>
<p>Considers that unless Council moves into the developer space that any savings as per the draft housing strategy are reasonably inconsequential. Identifies that Council no longer has a mandate or desire to act as a developer with associated financial risks and other downsides. Identifies that free enterprise developers are able to hold developable land in speculation, relating land at a pace that supports higher prices. Support from higher levels of Government would be required to tackle the problem and bring prices down, with the idea of developable land being vested in Council to manage supply/demand.</p>	<p>Based on the amount of residential land supply available in Tamworth and the number of approved lots to be developed; at this point in time, it is not considered necessary for Council to directly intervene in the housing market and become a land developer. Rather, the draft housing strategy identifies a need for social and affordable housing. To deliver this type of housing, Council can work with state agencies to identify surplus land (Action 1.4) and community housing providers (Action 3.1) to facilitate the supply of affordable and low-cost housing.</p> <p>The NSW Legislative Assembly has commenced an inquiry into 'Historical development consents in NSW', inclusive of the issue of non-completion of consents that cannot lapse.</p>
<p>Provides in principle support for Actions relating to secondary dwellings and</p>	<p>It should be noted that a 'secondary dwelling' and a 'manufactured home' are separate</p>

<p>manufactured homes subject to a number of development standards, including size, parking and appearance.</p>	<p>planning terms and have different controls. In circumstance where a 'manufactured home' is used as a 'secondary dwelling', then both controls likely apply.</p> <p>At this point in time, no specific Council controls are considered necessary for these types of development as:</p> <ul style="list-style-type: none"> • The controls for secondary dwellings (e.g., size, parking) are largely established within state legislation and override any local Council provision; and • Manufactured homes (and other forms of moveable dwellings) are subject to a complex legal and State planning framework; of which, the NSW Government commenced a review in 2023. Council will continue to advocate for timely completion of this review (Action 2.3 of the draft housing strategy); at which point, local controls can be developed if necessary.
<p>Considers that it makes sense to consolidate temporary workers accommodation so residents are subject to a plethora of developments by different employers. Also recommends the re-use of facilities that may be of residual benefit to TRC.</p>	<p>The ideas provided by the submission maker are noted and would inform Council's collaboration with DPHI to enable temporary workers accommodation across the Local Government Area (Action 2.6 of the draft housing strategy).</p>
SUBMISSION 21	
Summary	Response
<p>Provides recommendations in relation to housing construction standards relating to steps, open plan living (inefficient heating) and lighting.</p>	<p>Steps are considered on a case-by-case basis depending of the style of housing (i.e., aged care vs. traditional dwelling). New housing must meet energy efficiency and thermal comfort requirements under the NSW BASIX program.</p>
SUBMISSION 22	
Summary	Response
<p>TRC should be commended on this Strategy.</p> <p>There is an error on p.17 - rural zones don't promote shop-top housing</p> <p>Grouping Coledale and Central West under a single 'West Tamworth' suburb. They are</p>	<p>Support is noted.</p> <p>The reference on p.17 relates to employment zones. The sentence will be amended to make this clear.</p> <p>It is noted that Coledale and West Tamworth are different and referred to separately in the local sense and Council analyses, but they</p>

<p>very different geographically, and with different demographics.</p>	<p>remain identified as West Tamworth by the Australian Bureau of Statistics.</p>
<p>Rural residential land only addresses R5 (2ha) zones, (p.34). Most RU4 (40ha) lots are treated as lifestyle blocks (i.e., are not used as rural land). Such lots are too big for a normal household to manage properly.</p> <p>Meanwhile, there is a lack of 4ha sized lots (more affordable and also suited to horse families and farm retirees).</p> <p>Rezoning of RU4 (40Ha) lots into 4ha lots would improve housing diversity to suit these demographics that are attracted to Tamworth. This type of land close to the Tamworth Centre is currently extremely scarce.</p>	<p>Rural residential land is not officially defined in the legislation. R5 Large Lot Residential is a residential zone and as it is often coupled with lot sizes from 4000m² to 2ha it is often referred to rural residential land rather than residential.</p> <p>RU4 Primary Production Small Lots is an identified rural zone and while the points made are relevant, amendment of lots size provisions in the RU4 zone need to be supported by extensive strategic planning. The draft Rural Lands Strategy that has recently been commenced by Council is the type of planning required, but the findings cannot be pre-empted.</p> <p>It is agreed that choice of rural lifestyle options in close proximity to Tamworth (and towns) is desirable.</p>
<p>Support the suggestions throughout <i>Priority 2: Increasing diversity and choice in housing</i> and <i>Priority 3: Improving housing affordability and reduce housing cost.</i></p>	<p>Support for Priorities 2 and 3 are noted.</p>
<p>Regarding Priority 4. Tree planting requires more planning/thought. Trees are being planted too close to intersections (safety concerns). Public art is considered too expensive and poor use of funds.</p>	<p>Concerns are noted, but are issues addressed under other Council strategies and policies.</p>
<p><i>Priority 5: Promote regional communities.</i> Building costs is the biggest limiting factor in surrounding villages where house prices are lower. Releasing more land will not help solve this (as indicated in the Real Estate Agent survey results). TRC should find a way to help development and building using modular homes, etc., that can be cost effective in these areas.</p> <p>Solar farms, battery farms, etc., should not be allowed on good farming land</p>	<p>The comments made are supported. The draft housing strategy recommends looking at planning provisions and more diversity in housing to address issues. The draft housing strategy proposes Actions, such as Actions 2.3, 2.6 and 5.2, to promote diversity and choice including mention of modular housing and “Tiny Homes”.</p> <p>Solar farms and battery farms are issues addressed under LEP, DCP and NSW State Government planning policy.</p>
<p>Privately owned and built ‘rooming houses’ could be built by investors to help provide temporary workforce accommodation and to help solve the current rental crisis for single people.</p>	<p>Comments relating to rooming houses are noted and fall under existing proposed Actions relating to investigating various options for housing and addressing planning controls to provide more choice while maintaining the rights of residents to high quality housing.</p>

SUBMISSION 23	
Summary	Response
<p>Identifies issues with borrowing the terms “supply” and “demand” from economics, with analysis of conceptual economic models and laws of supply and demand. Recommends that a more wholistic strategic planning approach is required that puts people at the heart of housing.</p>	<p>The submission maker has spent considerable time and provided a detailed submission in relation to the economic models and their relationship (or lack thereof) to housing.</p> <p>It is acknowledged that the terms ‘supply’ and ‘demand’ are heavily associated with economics. However, these terms are not the propriety right of economists, nor is the draft housing strategy an economic document. The draft housing strategy is principally a land use planning document and a core aspect of land use planning is to provide discussion on the amount of residential land in the region and housing projections for the future population. However, the draft housing strategy also recognises the importance of people in housing. It documents the amount of homelessness in the region, the need to provide social and affordable housing for the disadvantaged, and recognises that people need liveable environments and connected communities.</p>
<p>Recognises that there are many difficulties facing Council; but considers Council is contributing to the ‘affordability crisis’. Considers that the Council’s difficulties stem its own strategic failures.</p>	<p>Council has a multi-faceted role within the community, including service provider, consent authority and enforcement agency. Given the broad range of functions undertaken by, and expected of, Council, there is potential for Council to both positively and negatively influence housing affordability.</p> <p>In response to the submission points, the draft housing strategy is a starting point and will be a ‘living document’. It will be routinely monitored and updated in response to what is, and is not, working. The broader Council organisation and strategies would form part of this process. Where a strategy has failed, in consideration of Council’s many roles and duties, then new ideas can be incorporated into future reviews of the draft housing strategy.</p>
<p>Considers that housing crisis in regional NSW is caused by bad policies, not by excess or deficient demand and supply. Where these policies are made by the State</p>	<p>The housing issues experienced in Regional NSW are not isolated, being experienced through the State and country, and are a result of a wide-ranging number of issues.</p>

<p>government considers that Council must be prepared to lobby harder against them.</p>	<p>Council already advocates to both the State and Federal government on a range of policy issues, including housing, and will continue to do. Several Actions of the draft housing strategy also call for advocacy to the State Government.</p>
<p>Includes a presentation to Council in relation to lobbying, which raises issues of lobbying by Council staff and re-zoning of large amounts of public land.</p>	<p>The presentation on lobbying and Council staff is noted, but is outside the scope of the draft housing strategy.</p> <p>In relation to the re-zoning of large amounts of public land:</p> <ul style="list-style-type: none"> • The draft housing strategy does not identify any specific public land for re-zoning for housing; and • There are no current Planning Proposals lodged for re-zoning of public land for housing. <p>Should Council or another government agency identify surplus government land as suitable for housing (Action 1.4 of the draft housing strategy), then any re-zoning must be undertaken in accordance with the <i>Environmental Planning and Assessment Act 1979</i> and <i>Local Government Act 1993</i>. Both of these Acts have a clearly defined process for openness and transparency.</p>
<p>SUBMISSION 24</p>	
<p>Summary</p>	<p>Response</p>
<p>Considers the document overwhelming, but finds it hard to dispute increased density, smaller Torrens title lot sizes and better cohesion in planning.</p>	<p>These comments are noted.</p>
<p>Considers the biggest issue dealing with Council seems to be getting approvals through in a timely and cost-effective manner.</p>	<p>The concerns with DA assessment times are acknowledged and Priority 3.2 of the draft housing strategy (Reduce costs associated with the planning system) confirms Council's commitment to reducing the 'red tape' associated with development, whilst still ensuring appropriate outcomes are achieved for the community. Several Actions have been identified; however, no easy-fix exists for assessment times, which are often at the mercy of the larger NSW Planning System (e.g., Planning Portal, one-size fits all approach).</p>

Recommends that Council reviews the requirement to provide gas connections to all new housing lots.	A review of gas requirements would form part of Council's broader review of infrastructure and engineering standards under Action 3.5 of the draft housing strategy.
Believes there is demand for apartments in the city centre.	The demand for apartments in the city centre is noted.
Considers that Council needs to keep an open mind around parking requirements.	Action 2.2 of the draft housing strategy is for the consideration of parking standards for medium and high-density developments in high accessibility areas.
Car parking should not be at street level to create an unappealing cityscape	Both the TRLEP 2010 and TRDCP 2010 contain 'Design Excellence' considerations to deliver high quality urban design in the Tamworth City Centre. Amongst other matters, these considerations would ensure car parking is designed to not detract from the cityscape.
Identifies that linked to housing is also the traffic it creates.	This comment is noted. Traffic impacts are standard consideration as part of any housing project, including Structure Plans, re-zonings and DAs.
SUBMISSION 25	
Summary	Response
Recommends that reduced parking rates for residential development are expanded throughout West Tamworth to include the land from Gipps Street to Mathews Street and Mahoney Avenue to Ebsworth Street.	<p>Action 2.2 of the draft housing strategy is to "<i>consider a reduction in parking standards for medium and high-density development within Tamworth in areas with high accessibility to key services and public transport</i>".</p> <p>The initial areas identified for investigation by the draft housing strategy and subsequently incorporated into the review of the TRDCP 2010 are West Tamworth, either side of Bridge Street, and North Tamworth around the Tamworth Base Hospital and associated health area.</p> <p>The TRHS also considers that "<i>additional areas around the city of Tamworth may also be suitable for reduced parking for residential development and ongoing review of the TRDCP 2010 is recommended</i>".</p> <p>Should the review of the TRDCP 2010 be adopted by Council, it is considered that the area of West Tamworth identified by the submission maker may be suitable for</p>

	reductions in parking. This would be subject to further analysis and community consultation as part of the next review of the TRDCP 2010.
Issues raised in the submissions to Amendment 17 of the TRDCP 2010 of relevance to the TRHS	
Water Reticulation Requirements in Daruka and Tintinhull	<p>Submissions to Amendment 17 of the TRDCP 2010 have both provided support for and raised issues with the proposed amendments to remove the requirement for reticulated town water to subdivision lots of 5 hectare or larger at Daruka and Tintinhull. These submissions are addressed in a separate report to Council on Amendment 17 of the TRDCP 2010. Relevant to these submissions is Action 1.5 of the draft housing strategy (as amended) for the review of the requirement to provide reticulated water lots 5 hectares or more in area at Daruka and Tintinhull.</p> <p>Subject to the adoption of Amendment No. 17 of the TRDCP 2010, it is recommended that this Action remain within the draft housing strategy.</p>
Issues raised in the submissions to the TRLEP 2010 of relevance to the TRHS	
<p>Submissions have been received in response to the Planning Proposal for the Phase 1 Review of the TRLEP 2010. Council is still waiting feedback from a number of state agencies as required by the conditions of the Gateway Determination. Once these agency comments have been, a separate report including public submissions to the Phase 1 Review of the TRLEP 2010 will be provided to a future meeting of Council.</p> <p>For reference, below is a general summary of the issues raised in the public submissions to the Phase 1 Review:</p> <ul style="list-style-type: none"> • Support for secondary dwellings in rural areas, excluding the Namoi Regional Jobs Precinct; • Request to subdivide a rural property; • Request to review permissibility of development in rural areas; • Requests to review heritage listings of certain properties; and • Support for the proposed East Tamworth Heritage Conservation Area. 	

Annexure 3 - Agency Submissions

Agency	Summary of submission	Council Response
<p>Department of Planning Housing and Infrastructure (DPHI)</p>	<p>Commends Council on establishing an appropriate framework for the delivery housing in the Tamworth Regional Local Government Area (Tamworth Regional LGA).</p>	<p>Support noted</p>
	<p>Consistency with <i>State Environmental Planning Policies</i> (SEPPs), S.9.1 Ministerial Directions and the <i>New England North West Regional Plan 2041 (Regional Plan 2041)</i></p>	<p>Council has endeavoured to be consistent with SEPPs, S.91 Directions and the Regional Plan. Any inconsistencies will be explained when the housing strategy is submitted to DPHI.</p>
	<p>Council should adopt and incorporate options into the final housing strategy which will increase housing supply and diversity that help support community needs, including ageing population, temporary workers, ongoing reduction in household size, delivery of social and affordable housing.</p>	<p>A central purpose of the draft housing strategy is to support increased housing supply and diversity to help support community needs. The draft housing strategy aims to stimulate collaboration and engagement of stakeholders especially those involved with affordable rental housing, social housing and temporary workers accommodation.</p>
	<p>The Department's 2022 implied dwelling projections forecast 5,432 dwellings need to be delivered between 2021 and 2041 to meet expected demand. This projection should also be identified in the strategy. Council may also wish to consider using diagrams and / or infographics to provide a visual representation of the projections.</p>	<p>The draft housing strategy will be amended to reference DPHI implied dwelling projection forecast. Council will be including diagrams and infographics in the final version of strategy.</p>
	<p>Council's use of aspirational housing projections is supported as it will assist in meeting DPHI projections. Rezoning need to be linked to actual growth and supported by infrastructure servicing plans.</p>	<p>Council agree that any rezoning should be targeted to meet a specific need and be supported by strategic merit, site specific merit and infrastructure planning.</p>
	<p>Concerns raised that permitting secondary dwellings in rural zones may increase land-use conflict and be contrary to the objectives of the Namoi Regional Jobs Precinct (Namoi RJP). Consultation in DPI – Agriculture is recommended. Council may wish to defer the matter to the planned rural lands strategy.</p>	<p>The actions relating to secondary dwellings are proposed under the housing strategy, not implemented. The size and placement of secondary dwellings from the primary dwelling will be restricted by clause 5.5 of the <i>Tamworth Regional Local Environmental Plan 2010 (TRLEP 2010)</i> and subject to a merit assessment as part of the development assessment process. This could reduce land-use conflict potential; however, the development assessment process will likely identify some locations will not be suitable for a secondary dwelling despite the restriction on size and placement contained in clause 5.5 of the <i>TRLEP 2010</i>.</p>

Annexure 3 - Agency Submissions

		<p>Accepting the advice of the DPHI, Council consulted with Department Primary Industries – Agriculture, Environment Protection Authority and the Regional Growth Development Corporation (Namoi Regional Jobs Precinct team). It was apparent that the key highlighted issue related to the possible permissibility of secondary dwellings in the mapped Intensive Protection Area within the TRC LGA.</p> <p>In response, it is recommended that the action relating to secondary dwellings be moderated to ... '<i>Investigate the potential of permitting secondary dwellings in RU1 and RU 4 zoned lands outside of the identified Namoi Regional Jobs Precinct.</i>'</p> <p>The permissibility of secondary dwellings is a matter for the consideration under the <i>TRLEP 2010</i> and is the subject of a future report to Council.</p>
	The illustrated precinct plans for Barraba, Nundle, Manilla, Nemingha and Kootingal require more detailed explanation of proposed investigation areas and connection to strategies.	Noted. The illustrated precinct plans provides a basis to start more detailed planning in consultation with agencies and the communities affected.
	Recommended that consideration be given to reviewing and rationalising the existing R5 zoned land.	Noted. This matter will be addressed by the upcoming Rural Lands Strategy and will be a matter for consideration in a future review of the <i>TRLEP 2010</i> .
	Recommended that any additional urban and large lot residential land be supported for investigation only and that any rezonings should only be progressed once the need and demand has been established along with the site-specific development constraints.	Council agrees, that future urban and large lot residential investigation areas should only progress once the need and demand is established. The <i>Tamworth Regional Local Strategic Planning Statement 2021</i> and the <i>Regional Plan 2041</i> identify future residential investigation areas and these will be subject to the structure planning process and include infrastructure delivery plans.
	Council is strongly encouraged to ensure new infill and greenfield development is located above the flood planning level.	Council agrees and a risk-based approach will be implemented when progressing actions from the draft housing strategy in relation to flooding. This is also a key consideration for any planning proposal under Ministerial Direction 4.1.

Annexure 3 - Agency Submissions

	Regular monitoring to ensure future housing supply is supported when any issue arising in the Tamworth LGA and contribution to NSW housing targets.	Regular housing monitoring is included in the draft housing strategy. This forms a key part of the strategy in ensuring the stated priorities, objectives and actions are being delivered.
	It is recommended that sources are provided for all figures, images and tables. It is also important to ensure that a consistent planning horizon is used for data and projections, noting some parts the draft strategy refer to 'the next 20 years' and others to 2041.	The draft housing strategy will be amended to include sources, references and consistent planning horizons to 2041.
	It is recommended that consultation with State agencies be undertaken.	Extensive consultation has been undertaken in the formulation of the draft housing strategy with a range of stakeholders. With regard to this exhibition formal consultation has been undertaken with; DPHI, Department of Primary Industries – Agriculture, Environment Protection Authority, Regional Growth Development Corporation (Namoi Regional Jobs Precinct) and the Tamworth Local Aboriginal Land Council. Consultation with agencies in many ways is the central element of considering the actions in the strategy.
Department of Primary Industry – Agriculture (DPI - Ag)	Formulation of the housing strategy is seen as a positive move.	Support noted.
	Concerns raised that permitting relating to secondary dwellings in rural zones may increase land-use conflict by providing additional housing in company with agricultural practices. Considered to be contrary to Objective 2 of the <i>Regional Plan 2041</i> regarding protecting viability of rural land.	The actions relating to secondary dwellings are proposed under the housing strategy, not implemented. The size and placement of secondary dwellings from the primary dwelling will be restricted by clause 5.5 of the <i>TRLEP 2010</i> and subject to a merit assessment as part of the development assessment process. This could reduce land-use conflict potential; however, the development assessment process will likely identify some locations will not be suitable for a secondary dwelling despite the restriction on size and placement contained in clause 5.5 of the <i>TRLEP 2010</i> . The permissibility of secondary dwellings is a matter for the consideration under the <i>TRLEP 2010</i> and is the subject of a future report to Council.

Annexure 3 - Agency Submissions

	<p>Concern that the investment by the NSW Government in the Namoi Regional Jobs Precinct may be undermined by permitting secondary dwellings in rural zones.</p>	<p>The Namoi RJP project has been running for over three years since 2021. Public exhibition has yet to be undertaken and the materials remain confidential.</p> <p>Council has undertaken extensive consultation with agencies regarding the Namoi RJP. In response, it is recommended that the action relating to secondary dwellings be moderated to ... <i>'Investigate the potential of permitting secondary dwellings in RU1 and RU4 zoned lands outside of the identified Namoi Regional Jobs Precinct.'</i></p>
	<p>Concerns raised the recommendation to permit subdivision of land in R5 Zone of 5 hectares or above may be inefficient use of land and lead to demand for more zoning for R5 lands.</p>	<p>The current planning provision do not prohibit the creation of lots of 5ha in the R5 zone, albeit these still trigger the requirement for the provision of reticulated water supply. However, in response, it is recommended to only apply the exemption for reticulated water supply to new lots (5ha or greater) in the Daruka and Tintinhull areas. This is directly in consideration of R5 zoned land in Daruka and Tintinhull having been stymied by the impracticality of extending reticulated water to these areas.</p> <p>The proposal to allow subdivision of these R5 zoned areas, without the requirement for reticulated water, aims to bring fragmented land to market to meet an identified gap in the supply of rural residential land.</p>
	<p>Noted that Action 5.4 looks at identifying rural zoned land near town centres for future investigation for residential purposes if not useful for future agricultural use. Concerns that no clear parameters to this process.</p>	<p>Action 5.4 recognises that towns and village (and potentially their hinterlands) provide avenues to investigate housing choice. In response, it is recommended that Action 5.4 be moderated to ... <i>'Investigate primary production zoned land through the Rural Lands Strategy that may not be suitable for primary production purposes....'</i></p>
<p>Regional Growth NSW - Development Corporation (RGDC)</p>	<p>Impacts on the Namoi Regional Jobs Precinct (Namoi RJP) due to intent on permitting secondary dwelling within rural zones.</p>	<p>The actions relating to secondary dwellings are proposed under the housing strategy, not implemented.</p> <p>The size and placement of secondary dwellings from the primary dwelling will be restricted by clause 5.5 of the <i>TRLEP 2010</i> and subject to a merit assessment as part of the development assessment process. This could reduce land-use conflict potential; however, the</p>

Annexure 3 - Agency Submissions

		development application process will likely identify that some locations will not be suitable for a secondary dwelling despite the restriction on size and placement contained in clause 5.5 of the <i>TRLEP 2010</i> .
	The RGDC recommends that secondary dwellings remain prohibited in lands that are mapped within the Identified Production Areas (IPA) associated with the Namoi RJP.	In response, it is recommended that the action relating to secondary dwellings be moderated to ... ' <i>Investigate the potential</i> of permitting secondary dwellings in RU1 and RU4 zoned lands <i>outside</i> of the identified Namoi Regional Jobs Precinct.'
Environment Protection Authority (EPA)	Permitting secondary dwellings within the RU1 and RU4 zones has the potential to increase the number of sensitive receivers within proximity to these primary industries. The EPA recommends that Council consider this issue carefully to reduce any potential land conflict, particularly in relation to the proposed Namoi RJP.	<p>The actions relating to secondary dwellings are proposed under the housing strategy, not implemented.</p> <p>The size and placement of secondary dwellings from the primary dwelling will be restricted by clause 5.5 of the <i>TRLEP 2010</i> and subject to a merit assessment as part of the development assessment process. This could reduce land-use conflict potential; however, the development application process will likely identify that some locations will not be suitable for a secondary dwelling despite the restriction on size and placement contained in clause 5.5 of the <i>TRLEP 2010</i>.</p> <p>Council has undertaken extensive consultation with agencies regarding the Namoi RJP. In response, it is recommended that the action relating to secondary dwellings be moderated to ... '<i>Investigate the potential</i> of permitting secondary dwellings in RU1 and RU4 zoned lands <i>outside</i> of the identified Namoi Regional Jobs Precinct.'</p> <p>The permissibility of secondary dwellings is a matter for the consideration under the <i>TRLEP 2010</i> and is the subject of a future report to Council.</p>
	The development of any housing strategy should consider any air, odour and noise impacts associated with an increase in residential density in residential and rural zones.	Air, odour and noise impacts will be considered prior to implementation of any Action. The relevant government or agency guideline will be considered to mitigate potential land use conflicts.
	The development of any housing strategy should consider any scheduled	The location of scheduled activities will be considered prior to implementation

Annexure 3 - Agency Submissions

	activities listed within Schedule 1 of the Protection of the <i>Environment Operations Act 1997 (POEO Act)</i> .	any Action. It is acknowledged, identifying and mitigating these potential conflicts early can help to protect receivers/residents from land use conflicts, protect industry from possible encroachment or limitations, and ensure compliance with regulatory requirements.
	The development of any housing strategy should also consider contaminated lands, with consideration given to existing contamination through a previous land use, or future contamination.	The likelihood for contaminated lands will be considered prior to implementation any Action. The relevant government or agency guideline will be considered to mitigate potential impacts arising form land contamination
	As the Housing Strategy seeks to increase the future population within the Tamworth LGA, consideration should be given to the existing sewage infrastructure, ensuring the sewage network is adequate for expected future development.	Any Action which seeks to implement increase density or rezoning will include investigations to ensure the sewer network is adequate to cater for the expected future development. The largest increase in population growth will occur in areas which are already zoned for residential purposes with infrastructure in close proximity.
	Stormwater discharges from areas of increased density have the potential to impact on local surface water and groundwater quality.	Any Action which seeks to implement increase density will include investigations to ensure impacts from stormwater discharge on local surface water and ground water are minimised.
	As the Housing Strategy proposes an increased residential density, the EPA also recommends Council give consideration to the NSW Waste and Sustainable Materials Strategy 2041, and Better Practice guide for resource recovery in residential developments (EPA, 2019).	The <i>Draft Tamworth Development Control Plan 2010 (Amendment 17)</i> includes draft controls requiring lodgement of a resource and waste management plan at development application stage. This is consistent with the NSW Waste and Sustainable Materials Strategy 2041, and Better Practice guide for resource recovery in residential developments.
Tamworth Local Aboriginal Land Council (TLALC)	For the Strategy to acknowledge contribution TLALC owned and managed land can make to delivery of housing targets, promotion of rural communities, and provision of housing for region.	Local Aboriginal Land Councils (LALC) can contribute to the delivery of housing targets, promotion of rural communities, and provision of housing for region. In response the draft housing strategy has been amended to include commentary in this regard.

Annexure 3 - Agency Submissions

	<p>Facilitate activation of TLALC owned land for provision of housing including improved processes for assessment and delivery.</p>	<p>Actions 3.1 and Action 3.2 of the housing strategies seek to work with LALC and other community housing providers to facilitate the activation and supply of affordable and low-cost housing.</p> <p>Council will investigate broadening the types and location of 'fast-track' assessment of development applications (Action 3.4) and continue to advocate for the continued improvements to the NSW Planning System that streamline assessments and reduce cost of housing (Action 3.3).</p>
	<p>Expand on Actions 3.1, 3.2 and 3.3 for working with TLALC for both market and social and affordable housing to ensure housing needs of the Aboriginal community are addressed.</p> <ul style="list-style-type: none"> • Including support and advocacy for streamlining approvals for TLALC lead market and affordable rental and social housing, particularly accessible accommodation; • Confirmation requested for the manner of engagement, consultation and co-design and how these will be delivered or embedded in strategy, environmental planning instruments and TLALC community Land and Business Plan. 	<p>The delivery of social and affordable housing is a key outcome of the draft housing strategy. It is acknowledged that market housing plays an important role in the ability of the LALC and other housing providers to fund and deliver social and affordable housing given the discounted rate of return for these forms of housing.</p> <p>In response the draft housing strategy has been amended to identify market housing as an important component in the wider delivery of social and affordable housing.</p> <p>Council will continue to work with the LALC and other housing providers who seek deliver social and affordable housing. Council is reviewing 'fast track' application processes and regularly has pre development meetings which provides a forum to discuss proposed developments.</p> <p>Options exists to enter into Memorandum of Understanding (MOU) and partnerships with entities for community-based initiatives. Furthermore, the current planning system enables Local Aboriginal Land Councils (LALC), to prepare Development Delivery Plans for LALC owned land. This may be another option to facilitate the supply of affordable and social housing.</p>
	<p>Ensure TLALC land holdings suitable for residential development are not locked out of development potential through restrictive TRLEP 2010 provision.</p>	<p>It is unclear from the submission what provisions of the <i>TRLEP 2010</i> are restrictive, however Council will collaborate with LALC and other community housing providers to</p>

Annexure 3 - Agency Submissions

		<p>investigate possible options to unlock further market, affordable and social housing.</p> <p>Furthermore, Council will continue to review the <i>TRLEP 2010</i> and the <i>TRDCP 2010</i> to ensure they are fit for purpose and do not unnecessarily impeded development.</p>
	<p>The TLALC land holdings are made up of 79% rural and 19% residential. This presents an opportunity for delivery of homes in the areas responded to well from the community survey.</p>	<p>The LALC land holding presents opportunities, subject to site specific constraints, for additional housing. A mixture of housing types is supported by the housing strategy.</p>



Department of Planning, Housing and Infrastructure

IRF24/1289

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Dear Mr Bennett

Draft Tamworth Regional Housing Strategy

Thank you for the opportunity to review and comment on Council's draft Regional Housing Strategy (May 2024).

I would like to commend Council on its commitment and strategic approach to establishing an appropriate framework for the delivery of housing in the Tamworth Regional Council local government area (LGA) to meet the housing needs of the community.

The following comments are provided for Council's consideration when finalising the draft Regional Housing Strategy (the strategy):

- Council should ensure the final strategy is consistent with all relevant state environmental planning policies, section 9.1 Ministerial Directions and the New England North West Regional Plan 2041. Inconsistencies will need to be detailed and justified when the strategy is submitted for the Department's approval;
- Council should adopt and incorporate options into the final strategy which will increase housing supply and diversity that help support community needs, including the needs of an ageing population, temporary workers, the ongoing reduction in household size and the delivery of social and affordable housing;
- The Department's 2022 implied dwelling projections forecast 5,432 dwellings will need to be delivered between 2021 and 2041 to meet expected demand. This projection should also be identified in the strategy. Council may also wish to consider using diagrams and / or infographics to provide a visual comparison between the Department's and Council's projections and a detailed explanation on how they will be achieved;

- Council's use of aspirational housing projections is supported as they will ensure an appropriate housing supply is available should demand exceed the Department's current projections. In adopting such an approach, it is however recommended that any future planning proposals for rezonings are linked to actual growth and supported by infrastructure servicing plans to ensure that an appropriate and efficient housing supply is being delivered;
- Action 2.5 to permit secondary dwellings the RU1 Primary Production and RU4 Primary Production Small Lots Zones has the potential to create additional rural land use conflict and may be contrary to the objectives of the proposed Namoi Regional Job Precinct (RJP). It is recommended that consultation with DPI Agriculture be undertaken regarding this action and developing an approach that can deliver both the intended outcome in appropriate locations and is consistent with the State and regional planning framework and intent of the Namoi RJP. To avoid any possible delays in finalising the strategy, Council may wish to consider deferring this matter to the planned rural lands strategy to enable an appropriate methodology and approach to be developed with DPI Agriculture;
- In relation to the action to review and implement the precinct plans that have been prepared for Barraba, Kootingal, Manilla, Nemingha and Nundle it is recommended:
 - these precinct plans would benefit from a more detailed explanation regarding the need and selection of the proposed investigation areas and be supported by improved mapping clearly identifying the investigation areas;
 - that identified actions for each of the investigation areas align with the text boxes within the legend on the associated precinct plan (for example, the precinct plans for Barraba, Kootingal, Manilla and Nundle reference a review of flood planning provisions, however this has not been referenced in the strategy actions);
- As there is a sufficient supply of existing zoned urban and large lot residential land to meet both the Department's and Council's projected housing needs to 2041, it is recommended that any additional areas be supported for investigation only and that any rezonings should only be progressed once the need and demand has been established along with the site-specific development constraints;
- Given the draft strategy concludes only a small proportion of existing R5 Large Lot Residential land is suitable for development due to constraints, Council is encouraged to consider reviewing and rationalising its existing R5 zoned land as part of any future investigations to promote sustainable land use outcomes and more appropriately manage land owner expectations;
- The 2022 Independent Flood Inquiry Report highlighted the importance of taking a more proactive, risk-based approach to flooding and planning decisions, including greater consideration of climate change risks. Changing the zone and / or controls on flood prone land should be subject to careful assessment which incorporates consideration of local circumstances. To lower the risk to development, Council is strongly encouraged to ensure new infill and greenfield development is located above the flood planning level;

- Whilst the draft strategy acknowledges the importance of infrastructure delivery, further clarification on the key infrastructure works required to service the projected housing growth would be beneficial in ensuring alignment of land use planning with infrastructure provision;
- The intent to undertake regular monitoring and reviews against projected demand to ensure housing supply will meet expected demand is supported. At each review point, Council should also consider and address any lack of progress in meeting the LGA's housing needs and contributing to the NSW government's 5-year housing targets;
- While it is acknowledged sources have been provided for key demographic data, it is recommended sources are provided for all figures, images and tables. It is also important to ensure that a consistent planning horizon is used for data and projections, noting some parts the draft strategy refer to 'the next 20 years' and others to 2041; and
- Consultation with the relevant State agencies is undertaken prior to finalising the strategy.

The final strategy and plans must be submitted to the Department for approval to enable recognition to justify any inconsistencies with relevant section 9.1 Ministerial Directions and the New England North West Regional Plan 2041.

The Hunter and Northern Region team is available to discuss these comments with Council and look forward to working together to finalise the Tamworth Regional Housing Strategy.

Should you have any questions in relation to these comments, please do not hesitate to contact Georgina Weallans, Planning Officer, at the Department on 5778 1413.

Yours sincerely



27/6/24

Craig Diss
Acting Director, Hunter and Northern Region
Local Planning and Council Support

Department of Primary Industries - Agriculture

Department of Regional NSW



OUT24/9252

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[Have Your Say on future housing needs in the region | Tamworth Regional Council \(nsw.gov.au\)](https://www.nsw.gov.au)

Tamworth Regional Council Draft Local Housing Strategy

Dear Sir or Madam,

The NSW Department of Primary Industries (DPI) Agriculture collaborates and partners with our stakeholders to protect and enhance the productive and sustainable use and resilience of agricultural resources and the environment.

We are aware that Council is currently exhibiting a draft Local Housing Strategy (LHS) which contains recommendations for rural zoned land. The preparation of a housing strategy is a positive move towards meeting Tamworth's demographic housing needs in the near and longer term. However, while incorporating strategic planning principles for the supply of more affordable, well located, diverse housing options, we are concerned that the LHS recommendations will result in Local Environmental Plan (LEP) amendments that will impact agricultural land and industries without evidence or strategic consideration.

Agriculture is a significant industry in the Tamworth local government area (LGA) with a range of long term and newly emerging enterprises, most prominently the intensive livestock industries and processors. The total gross value of agricultural commodities in Tamworth LGA (2020/21) was \$305.46 million, with 1440 people employed directly in agriculture. The area used for agricultural production is 8,712km² or 88% of the LGA. Tamworth is first in NSW for livestock slaughtered (cattle) and second in NSW for poultry slaughtered and broadacre crops (<https://www.dpi.nsw.gov.au/agriculture/lup/agriculture-data-for-planning/dashboard>).

It is recommended that Council carry out an assessment of the potential impacts of additional housing in rural zones. A clear understanding of the existing rural housing supply opportunities and likely cumulative impacts on agricultural industries from additional rural housing should be established before new rural housing opportunities are created. Measures to mitigate any potential impacts on agricultural production should also be put in place.

The following comments and feedback on the draft LHS are provided for Council's consideration.

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[dpi.nsw.gov.au](https://www.dpi.nsw.gov.au)

Secondary Dwellings in RU1 and RU4 zones

The LHS recommends permitting secondary dwellings in both the RU1 Primary Production and RU4 Primary Production Small Lot zones. It is understood that this is to enable 'ageing in place'. We note that 'dwelling houses', 'dual occupancies -attached' and 'rural workers dwellings' are already permissible in both zones. The LHS does not refer to an evidence base to justify an increase in dwelling opportunities in the rural zones or provide an estimate of the likely impacts on productive agriculture. There is however strong likelihood that additional dwellings in the rural landscape will adversely impact on agricultural industries through increased land use conflict in the longer term when elderly occupants no longer occupy the additional dwellings.

It is considered that the existing permissibility of attached dual occupancies in the rural zones would adequately allow for 'ageing in place'. It is also noted that older people require access to services and facilities that are readily and conveniently available in Tamworth's urban area and the provision of diverse housing typologies to facilitate elderly households in urban areas should be prioritised ahead of the provision of additional dispersed rural housing.

It is our view that permitting secondary dwellings in the RU1 and RU4 zones is inconsistent with some of the objectives and strategies of the New England North West Regional Plan 2041 (NENWRP). Objective 2 of the NENWRP seeks to *Protect the viability and integrity of rural land*, and states that *'Dwellings that are not a primary residence or associated with agriculture can also conflict with agricultural activities.'*

Namoi Regional Jobs Precinct

The Namoi Regional Jobs Precinct project has state and local government support and is featured in the NENWRP. It is important to protect the significant investment in the development of the Namoi RJP and the intensive animal industries around Tamworth from adverse planning outcomes. Permitting additional dispersed housing throughout the rural landscape as would occur by permitting secondary dwellings in the RU1 and RU4 zones risks compromising the modelling and planning for rural lands and Identified Production Areas undertaken as part of the Namoi RJP project.

Water Supply for R5 Zoned Land

The proposal to remove the requirement for the provision of a town water supply for lots greater than five hectares on land zoned R5 may lead to inefficient development of this land. I note the current minimum lot size for land in the R5 zone is two hectares. By removing the need for reticulated water supply on lots greater than five hectares it is expected that this will incentivise the creation of larger lots, reducing the development yield of existing R5 zoned land and increasing the demand to create more R5 zoned land. Given housing supply is a priority in the current economic climate, Council should be introducing measures to maximise yield from existing residential (including R5) zoned land. Inefficient use of existing R5 zoned land risks creating demand for new rural residential housing opportunities in other locations that may be adjacent to productive agricultural land.

Primary Production Land

I note Action 5.4 of the draft LHS states:

5.4 Identify primary production zoned land that is not required for primary production purposes, and is well located to town centres, for future investigation for residential development.

It appears that there are no clear parameters in the draft LHS for what constitutes land that is not required for primary production. Given the extent of primary production in the Tamworth LGA this action is of significant concern. Any consideration of rural land for future residential development should be undertaken through a rigorous strategic planning process and should not rely on an arbitrary assessment of its need for primary production purposes. NSW DPI Agriculture requests that it be further involved in this process should Council resolve to progress this action.

Should you require clarification on any of the information contained in this response, I have arranged for Nita Scott, Agricultural Land Use Planning to assist you. Nita can be contacted by email at landuse.ag@dpi.nsw.gov.au

Sincerely



Paul Garnett
Manager, Agricultural Land Use Planning

27 June 2024



DOC24/493890-2

Mitch Gillogly
Team Leader - Strategic Planning
Tamworth Regional Council

Via email: m.gillogly@tamworth.nsw.gov.au.

1 July 2024

EPA response – Draft Tamworth Regional Housing Strategy

Dear Mr Gillogly,

re: exhibited Draft Tamworth Regional Housing Strategy ('Housing Strategy').

The EPA acknowledges the Traditional Custodians of Tamworth Local Government Area (LGA), the Kamilaroi/Gomeri people. We encourage meaningful engagement with the Aboriginal community in developing and implementing the proposed Housing Strategy.

The NSW EPA has reviewed the proposal including supporting documentation, and understands Council are progressing the housing strategy with the following five key priorities:

- Increase diversity and choice in housing;
- Facilitate liveable communities;
- Promote rural communities;
- Improve housing affordability and reduce housing costs; and
- Provide for sustainable growth supported by infrastructure.

The EPA has an interest in planning matters that have the potential to pose a significant risk to the environment and human health. This includes proposals that have the potential to locate sensitive receivers in close proximity to:

- existing or proposed heavy industrial uses and/or areas such as the Namoi Regional Jobs Precinct;
- notified or regulated contaminated sites; and
- other existing activities which have a current environment protection licence (EPL) to operate.

Strategic land-use planning is the most effective and efficient way to manage potential land use conflicts. The EPA has produced guidance material that may assist with applying strategic planning initiatives to the proposed Housing Strategy. More information is provided in **Appendix A**.

There is also the potential for the Housing Strategy to have implications for the proposed Namoi Regional Jobs Precinct. The EPA encourages Council to consider these potential implications carefully before finalising the Housing Strategy. More information is at **Appendix A**.

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If you have any further questions, please contact Patrick Andrade, Senior Planning and Assessment Officer, Strategic Planning Unit phone 02 9995 6454 or email environmentprotection.planning@epa.nsw.gov.au.

Yours sincerely



Jacqui Pulkkinen
Unit Head
Strategic Planning Unit

Appendix A

The EPA recommends that the Housing Strategy should seek to prevent or mitigate land use conflict between residential/sensitive uses and any industrial areas, scheduled activities, road and rail corridors, and contaminated lands. Noise, odour and/or air pollution, and contamination are all land use conflicts that need to be appropriately considered.

Industries and the Namoi Regional Job Precinct (RJP)

The Tamworth Regional LEP 2010 (TRLEP) states the objective of both the RU1 Primary Production and RU4 Primary Production Small Lots zones, is to 'encourage' and 'enable' primary industries and permits the 'extensive agriculture' land use without consent.

The Housing Strategy seeks to permit the erection of secondary dwellings on land zoned RU1 and RU4 and together with clause 5.5 of the TRLEP, secondary dwellings would be restricted in size and placement. Sensitive receivers within the RU1 and RU4 zones may be subject to land use conflict due to proximity to existing and future primary industries, with possible air and odour pollution.

Permitting secondary dwellings within the RU1 and RU4 zones has the potential to increase the number of sensitive receivers within proximity to these primary industries. The EPA recommends that Council consider this issue carefully to reduce any potential land conflict, particularly in relation to the proposed Namoi RJP.

As you are aware, the Regional Growth NSW Development Corporation (RGDC) is currently working with councils in the area and other government agencies to develop the draft Namoi RJP. The RJP will have a particular focus on extensive agriculture, and will include identification of areas within the Namoi RJP of strategic importance for these primary industries to operate. The EPA recommends that Council liaise further with the RGDC, to ensure the Housing Strategy does not conflict with the viability of the future extensive agriculture and other primary industries within the proposed Namoi RJP in the Tamworth LGA.

Air, odour and noise impacts

The [Local Government Air Quality Toolkit \(EPA\)](#) provides information and guidance on common air quality issues managed by Council officers. [Section 6 of module 2: land use planning and appropriate site selection](#) of the toolkit outlines how planning can be used to improve and protect air quality.

Part 4.3 of the EPA's [Technical framework - assessment and management of odour from stationary sources in NSW](#) provides guidance on odour impact assessment for existing activities, and Part 5 provides guidance on avoiding and mitigating odour, as it is usually more difficult and costly to address odour impacts retrospectively.

In relation to major road and rail corridors, an increase in residential density adjacent to such corridors has the potential to cause noise and air impacts on residential receivers residing within these areas. Section 5 of the [Noise Guide for Local Government \(EPA, 2023\)](#) provides information on strategic planning and examples of how it can be used by Council to promote better noise outcomes.

Council should also consider the [State Environmental Planning Policy \(Transport and Infrastructure\) 2021](#) (see cl 2.120), as well as the [NSW Road Noise Policy](#) (Department of Environment, Climate Change and Water NSW 2011) and [Development Near Rail Corridors and Busy Roads – Interim Guideline](#) (NSW Department of Planning 2008) if determining the suitability of locations for increased residential density in close proximity to busy roads and rail.

Scheduled activities

The development of any housing strategy should consider any scheduled activities listed within Schedule 1 of the *Protection of the Environment Operations Act 1997* (POEO Act). Scheduled activities are industrial or commercial operations with potentially significant environmental impacts, where operators must hold an Environmental Protection Licence (EPL), issued by the EPA.

The [POEO Public Register](#) is a valuable tool for identifying sites with existing EPLs. This register holds records of all scheduled activities along with associated licensing information. By consulting this register, consent authorities can identify potential environmental risks for specific areas of the housing strategy.

Decisions made under the *Environmental Planning and Assessment Act 1979* to establish sensitive receivers in a particular location, does not negate the future residents/receivers rights to complain regarding perceived environmental offences under the POEO Act. As such, identifying and mitigating these potential conflicts early can help to protect receivers/residents from land use conflicts, protect industry from possible encroachment or limitations, and ensure compliance with regulatory requirements.

Contaminated lands

The development of any housing strategy should also consider contaminated lands, with consideration given to existing contamination through a previous land use, or future contamination. Land contamination can result from a range of land uses, leading to significant environmental and health risks if contamination is not appropriately identified and remediated.

In progressing this Housing Strategy, the EPA recommends that Council consider:

- (a) [Chapter 4](#) of the State Environmental Planning Policy (Resilience and Hazards) 2021 including the draft [Contaminated Land Planning Guidelines](#);
- (b) the [list of contaminated sites](#) notified to the EPA under section 60 of Contaminated Land Management Act 1997; and
- (c) the [Contaminated land record](#) register, which is an alternative tool designed by the EPA which allows for a refined search of suburbs, LGAs and dates.

Please note, these lists and/or registers only contain contaminated sites that the EPA is aware of and if land is not listed, it does not necessarily mean it is free from contamination.

Sewage

As the Housing Strategy seeks to increase the future population within the Tamworth LGA, consideration should be given to the existing sewage infrastructure, ensuring the sewage network is adequate for expected future development.

The EPA recommends that Council consider the capacity of the existing sewage networks to receive additional flows. Where an upgrade to existing infrastructure is required, particularly concerning any sewage treatment plants, early consultation with the EPA is advised.

Water quality

Stormwater discharges from areas of increased density have the potential to impact on local surface water and groundwater quality. The EPA recommends that Council use the [NSW Water Quality and River Flow Objectives](#) (NSW WQO and RFOs) to consider any potential surface water and groundwater quality impacts arising from any changes proposed under the Housing Strategy. NSW WQO and RFOs provide the agreed environmental values, community values and long terms goals

for assessing and managing the likely impacts of an activity on water for each catchment in NSW.

Additionally, the *Local Planning for Healthy Waterways using NSW Water Quality Objectives* (Department of Environment and Conservation, 2006) provides guidance on how to incorporate these objectives into strategic planning. *The Risk-based Framework for Considering Waterway Health Outcomes in Strategic Land-Use Planning Decisions* (NSW OEH and EPA 2017), provides a practical case study on how cost-effective management strategies can be used to accommodate urban growth.

Water policies, guidelines, and programs (EPA) provides information on water management including a link to NSW Government's risk-based framework for considering waterway health outcomes in strategic land-use planning decisions.

Waste management

As the Housing Strategy proposes an increased residential density, the EPA also recommends Council give consideration to the *NSW Waste and Sustainable Materials Strategy 2041, Stage 1: 2021-2027* (DPIE, 2021) and *Better Practice guide for resource recovery in residential developments* (EPA, 2019).

Regional Growth NSW Development Corporation



1 July 2024

The General Manager

Delivered via email

Cc: Andrew Spicer – Manager, Future Communities

Draft Tamworth Regional Housing Strategy Submission

Dear Mr. Bennett,

The Regional Growth NSW Development Corporation (RGDC) supports Tamworth Regional Council's initiative in developing the draft *Tamworth Regional Housing Strategy* (the *Strategy*) as a critical step towards the provision of additional housing within the Tamworth region. It seeks to address a growing problem facing many areas in Australia, both regional and metropolitan, and RGDC commends Council on taking the necessary actions to ensure the needs of the community are met. We also recognise that housing is only one of the complex issues that Council is currently addressing and therefore appreciate the time taken to consider this submission.

RGDC is delivering the Namoi Regional Job Precinct (Namoi RJP), which aims to increase clarity within the planning framework to provide investment certainty for the sustainable economic development of the intensive livestock agriculture sector in the Namoi, which includes the Tamworth area. The strategic intent of the Namoi RJP is threefold, being:

- Supporting sustainable development of the intensive livestock agriculture as a significant contributor to local and economy;
- Creating clarity within the planning framework that supports investment confidence; and
- Protecting important environmental and cultural values, promoting efficient use of resources and supports long-term liveability and resilience of the community.

The work undertaken seeks to achieve this by minimising land use conflict with dwellings through identifying land most suitable for intensive livestock agriculture through the application of strategic odour modelling. A 'reverse amenity' methodology has been used consistent with the EPA-approved practice for odour modelling.

The benefits of this evidence-based assessment include:

- More efficient early site selection
- Greater certainty of appropriate level of odour assessment for development applications, and

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- Better planning and development outcomes to minimise land use conflicts.

As an organisation, RGDC recognises the need for place-based outcomes for regions and cities alike, ensuring an appropriate balance of social, economic and environmental factors are considered. With that in mind, we feel greater consideration is needed when proposing proliferation of homes within the lands identified as most suitable for increasing intensive livestock agricultural uses. Indeed, we support the premise of increasing housing supply but request a refinement to this to allow the integrity of the Namoi RJP to remain, given several years of work undertaken, in consultation with Council.

Therefore, we request your consideration of the following:

Impacts on the Namoi RJP due to Secondary Dwelling permissibility within rural land

In supporting increased housing stock, the Strategy intends to permit the erection of secondary dwellings on land zoned RU1 Primary Production and RU4 Primary Production Small Lots, where the erection of secondary dwelling is currently prohibited.

Whilst this intent seeks to ameliorate housing supply issues, it does not consider the premise of the Namoi RJP which strives to reduce land use conflicts on land most suitable for increased intensity of livestock agriculture based on several factors, central to this being the areas currently containing the least amount of housing. RGDC is concerned that the changes in secondary dwelling permissibility will impact on the integrity of the Identified Production Areas (IPA) within the Namoi RJP by allowing introduction of additional sensitive receivers.

In striving to create better balance between housing needs and that of a growing economy, **RGDC recommends that secondary dwellings remain prohibited in lands that are mapped within the IPA.**

Council has also recently been provided with a confidential copy of the *Strategic Implementation Plan* prepared as part of the document package for the Namoi RJP, due for imminent public exhibition. Council may wish to consider embedding further protections that will allow use of this vital rural land for its highest and best outcomes, critical not only to Council's government area, but to the State as a whole. However, at a minimum RGDC requests consideration of the amendment noted above.

As an organisation, we welcome the opportunity to continue working with Council on implementation of the Namoi RJP to ensure that Tamworth continues to thrive as a great place to live and work in.

I welcome further discussion on this important project for Tamworth - please contact me on kristi.jorgensen@regional.nsw.gov.au or 0488 633 699.

Best,



Kristi Jørgensen

Strategic Planning Manager

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To Whom It May Concern

Submission for Draft Tamworth Regional Housing Strategy

Tamworth Local Aboriginal Land Council (TLALC) would like to comment on the draft Tamworth Regional Housing strategy (TRHS). It is acknowledged that the public exhibition period has closed, it is requested that Council consider the following submission.

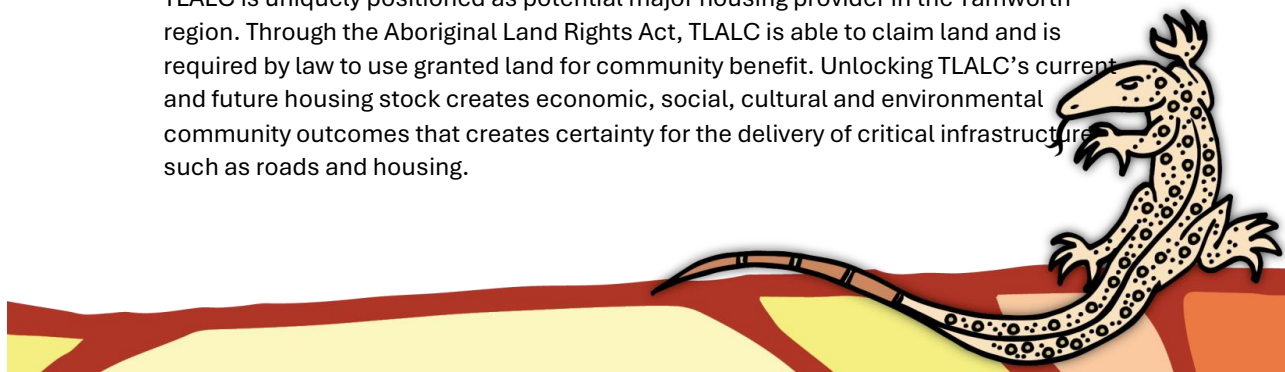
Requests

1. For the Strategy to acknowledge contribution TLALC owned and managed land can make to delivery of housing targets, promotion of rural communities, and provision of housing for region.
2. Facilitate activation of TLALC owned land for provision of housing including improved processes for assessment and delivery.
3. Expand on actions 3.1, 3.2 and 3.3 for working with TLALC for both market and social and affordable housing to ensure housing needs of the Aboriginal community are addressed.
 - o Including support and advocacy for streamlining approvals for LALC lead market and affordable rental and social housing, particularly accessible accommodation;
 - o Confirmation requested for the manner of engagement, consultation and co-design and how these will be delivered or embedded in strategy and environmental planning instruments.
4. Ensure TLALC land holdings suitable for residential development are not locked out of development potential through restrictive provisions in the LEP or DCP.

Context

TLALC Land and opportunity for housing provision

TLALC is uniquely positioned as potential major housing provider in the Tamworth region. Through the Aboriginal Land Rights Act, TLALC is able to claim land and is required by law to use granted land for community benefit. Unlocking TLALC's current and future housing stock creates economic, social, cultural and environmental community outcomes that creates certainty for the delivery of critical infrastructure such as roads and housing.





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Further, TLALC supports the delivery of direct employment, programs and services for both Aboriginal communities and the wider NSW community and relieves the pressure on other NSW service systems. Simply, TLALC is a major housing provider for the Tamworth Aboriginal and Torres Strait Islander community, and this of benefit to the broader community.

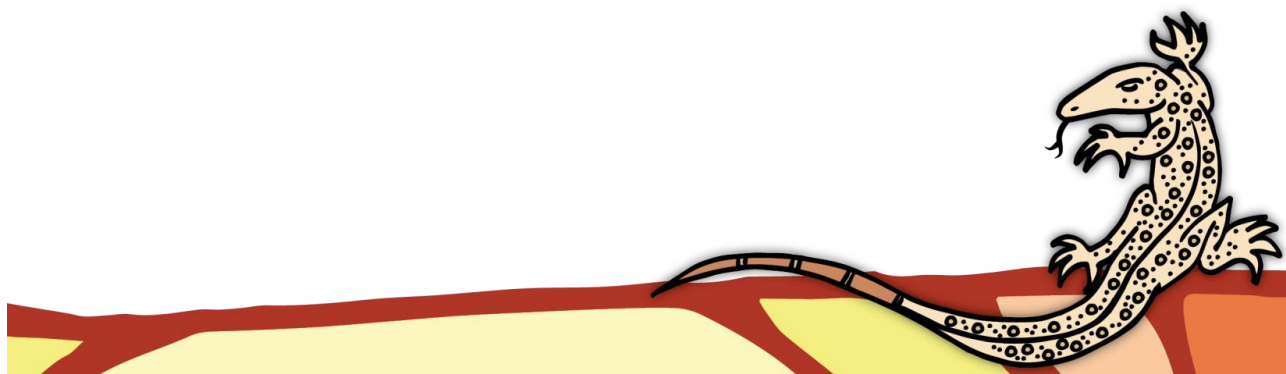
TLALC land holdings present opportunity to directly provide for the objectives of the TRHS, including.

- Increase diversity and choice in housing
- Facilitate liveable communities
- Promote rural communities
- Improve housing affordability and reduce housing costs
- Provide for sustainable growth supported by infrastructure

TLALC currently has 57 landholdings, 55 appropriately zoned for housing (R1, RU1, and RU5). Approximately 11 sites currently have homes with 44 of these sites being undeveloped.

As outlined in the TRHS, Tamworth Regional Council (TRC) is committed to establishing an environment that fosters partnerships and facilitates a business engagement focus to enable economic activation (page 18) – TLALC is requesting to that TRC work with the LALC to deliver on this commitment.

As identified by the TRHS, the Tamworth region has a higher proportion of Aboriginal and Torres Strait Islander peoples when compared to regional NSW, NSW or Australia (page 21). This, coupled with Tamworth's projected growth (page 19), demonstrates a need for greater collaboration by the TRC and TLALC.





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The TRHS recognises that Council should work with other agencies and community housing providers to address the demand for social and affordable rental housing. This includes, but is not limited to:

- Identifying land across Tamworth and other communities that is suitable for social and affordable rental housing;
- Streamlining approvals for affordable rental and social housing, particularly accessible accommodation;
- Working with Aboriginal housing providers to ensure the housing needs of the Aboriginal community are addressed; and
- Undertaking community engagement to reduce the stigma associated with social housing.

This is supported by actions 3.1, 3.2 and 3.3

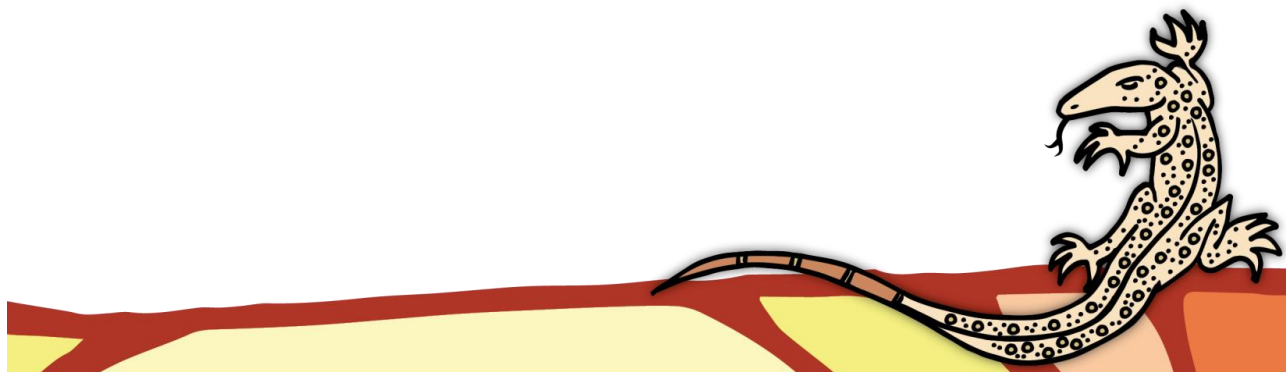
TLALC requests that the Council provide further clarification as to how this consultation is to be undertaken; and considerations taken for consulting regarding opportunities for market housing that will be aligned with the TLALC Community Land and Business Plan to support reinvestment in TLALC community programs.

Land holdings

The Community Survey Statistics and Analysis states that in response to the location of new dwelling should be built at:

Rural lands

- 42% agreed for allowing for the development of more rural residential type of developments close to Tamworth (149),
- 42% agreed with Subdivide new areas of land on the outskirts of Tamworth (148),
- 39% agreed with on vacant allotments in the existing areas (136),





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Residential land

- 29% agreed with in areas of town with old houses following demolition of an existing old house (102) and
- 29% with as additional dwellings on existing larger blocks through the construction of duplexes and/or secondary dwellings (101)

The TLALC land holdings are made up of 79% Rural (RU1, RU4, RU5) and 19% existing residential (R1). This presents an opportunity for delivery of homes in the areas responded to well from the Community Survey

TLALC requests support by way of improved assessment for delivery of housing in these locations.

In terms of alleviating resident concerns at the construction of social and affordable housing, respondents of the survey expressed a common wish that security issues be taken into consideration by the Council, with many urging that such housing not be densely concentrated and that it be distributed across a far larger area.

TLALC requests, noting TLALC's 57 land holdings are distributed across the area, this again provides an opportunity for facilitating delivery of social and affordable housing in coordination with TLALC to address this specific need.

Whilst this is the opportunity for social housing in coordination with community housing providers and Homes NSW, TLALC would also like to stress the value in market housing for supporting their community and initiatives.

Outcomes

Activating and enabling TLALC land holdings presents the opportunity to directly provide for the objectives of the TRHS, including.

- Increase diversity and choice in housing
- Facilitate liveable communities
- Promote rural communities
- Improve housing affordability and reduce housing costs
- Provide for sustainable growth supported by infrastructure





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Thank you for the opportunity to provide a submission on this important strategic strategy and TLALC looks forward to further engagement on this matter.

Please do not hesitate to contact myself if you wish to discuss any aspect of this submission on 02 6766 9028.

Kind regards

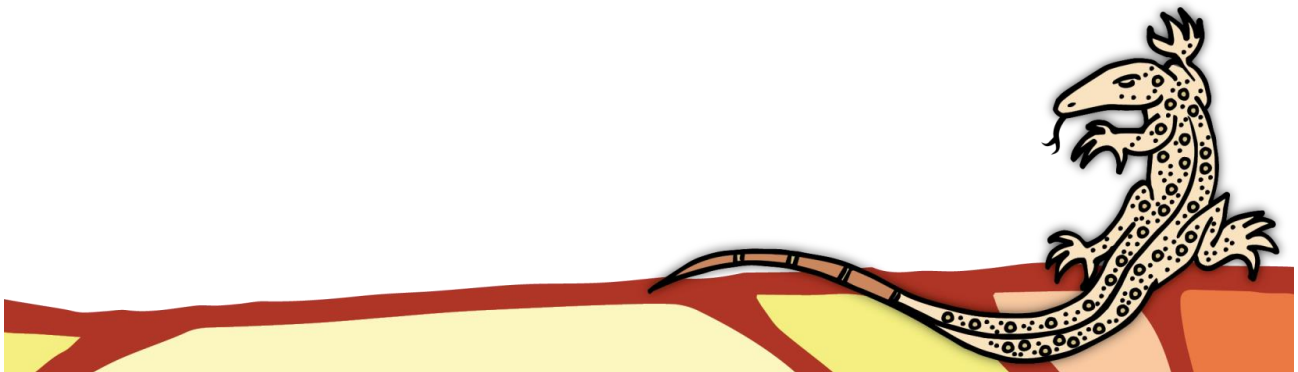
A handwritten signature in black ink that reads 'Fiona Snape'.

Fiona Snape

CEO

Tamworth Local Aboriginal Land Council

5 July 2024

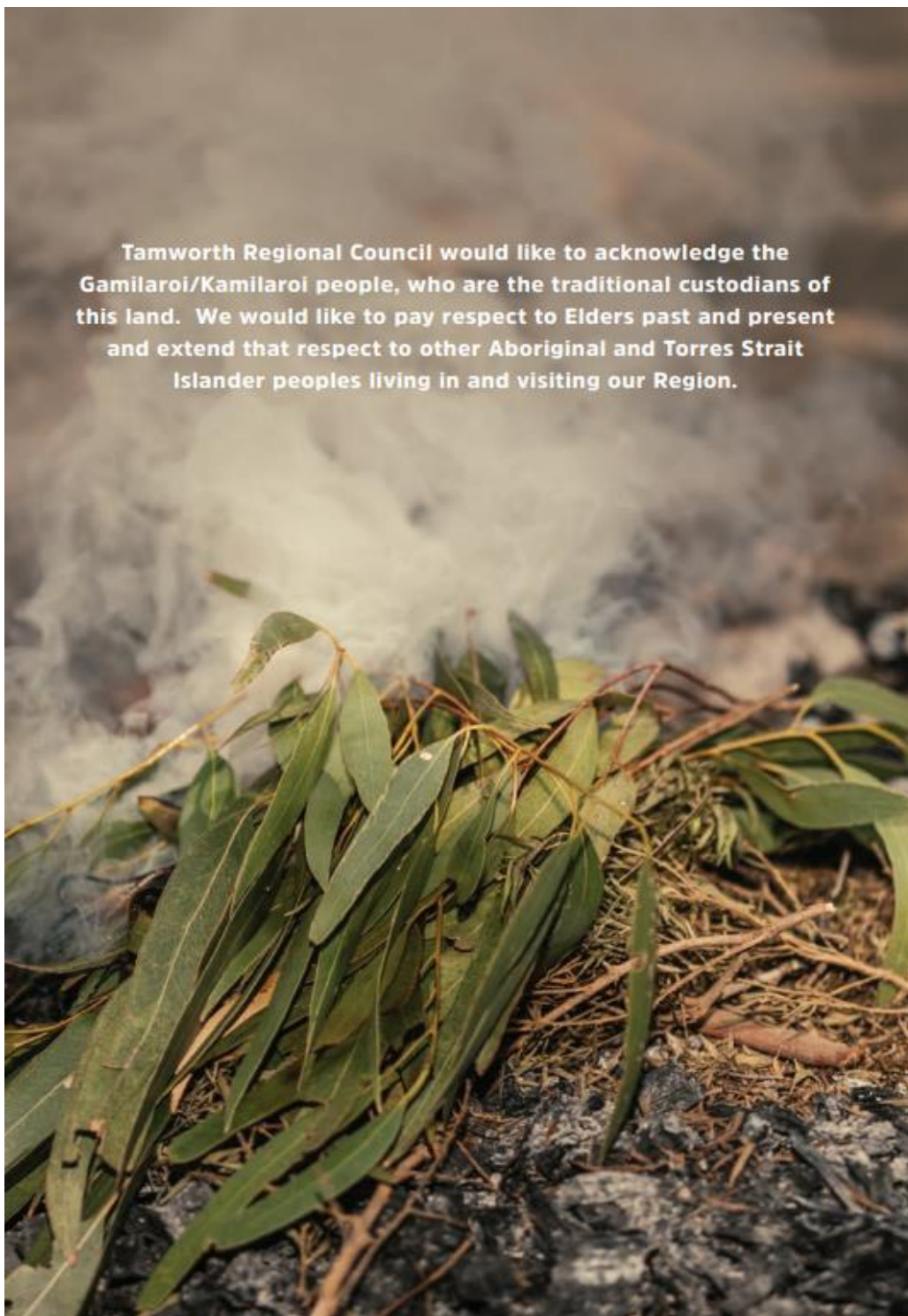




Tamworth Regional Housing Strategy

Draft Version: 11 July 2024





Contents

Acknowledgements.....	6
Executive Summary.....	7
Introduction.....	8
Local Government Snapshot.....	18
Housing Vision.....	19
Meeting Housing Needs.....	29
Engagement.....	40
Priority 1: Provide for sustainable growth that is supported by infrastructure.....	42
Priority 2: Increasing diversity and choice in housing.....	47
Priority 3: Improve housing affordability and reduce housing costs.....	52
Priority 4: Facilitate Liveable Communities.....	55
Priority 5: Promote rural communities.....	58
Delivery and Implementation.....	75
Monitoring and Reviews.....	75
Tamworth Regional Housing Strategy – Actions Table.....	76
Priority 1: Provide for sustainable growth that is supported by infrastructure.....	76
Priority 2: Increasing diversity and choice in housing.....	77
Priority 3: Improve housing affordability and reduce housing costs.....	78
Priority 4: Facilitating liveability.....	79
Priority 5: Promote rural communities.....	80

Appendices

Appendix 1: Community Survey Analysis

List of Figures

Figure 1: Extract of New England North West Regional Plan 2041.....	12
Figure 2: Local Government Areas - Northern NSW.....	18
Figure 3: Forecast population 2006-2041.....	19
Figure 4: Overseas arrival comparison between Tamworth Regional LGA and Regional NSW.....	20
Figure 5: Historical migration flows.....	21
Figure 6: Household size comparison between Tamworth Regional LGA and Regional NSW, 2021.....	22
Figure 7: Household size comparison between Tamworth Regional LGA and Regional NSW, 2021 (ABS Census 2021).....	23
Figure 8: Household composition comparison between Tamworth Regional LGA and Regional NSW, 2021 (ABS Census 2021).....	24

Figure 9: Employment by industry comparison between Tamworth Regional LGA and Regional NSW, 2021 (ABS Census 2021)	26
Figure 10: Changes in housing tenure Tamworth Regional LGA.....	27
Figure 11: Residential building approvals.....	29
Figure 12: Dominant dwelling type from 2006 to 2021	30
Figure 13: Mix of housing types	30
Figure 14: Dominant type of housing stress	35
Figure 15: Households in need of affordable housing	36
Figure 16: Housing Affordability by Area (source id profile).....	36
Figure 17: Housing Affordability Dec 2023	37
Figure 18: Rental Affordability Dec 2023.....	37
Figure 19: Kingswood Area south of Burgmanns Lane identified within the Regional Plan 2041...	43
Figure 20: Extract of Structure Plan for Arcadia	44
Figure 21: R5 Large Residential zoned land around Piallamoore that may be suitable for 5ha subdivision as water does not extend past Oaklands Estate	45
Figure 22: New England Renewable Zone in relation to Tamworth Regional LGA	50

List of Tables

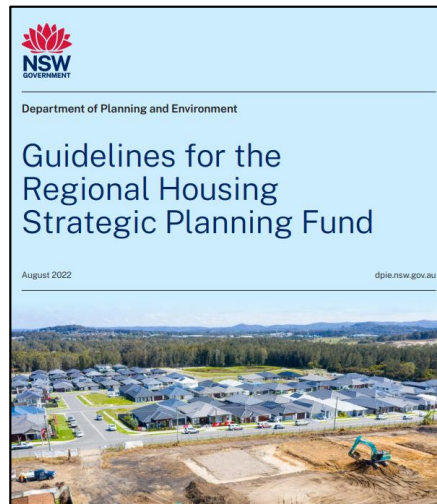
Table 1: Comparison of Projections using ABS Census, Department of Planning Data, and informed decisions data.....	20
Table 2: Household size 2006-2021.....	23
Table 3: Forecast household type	24
Table 4: Median household income and payments	25
Table 5: Summary Snapshot of the Tamworth Regional LGA	28
Table 6: Dwelling structure.....	31
Table 7: Houses Constructed in Main Growth Areas.....	31
Table 8: Demographic Groups - Tamworth	32
Table 9: Analysis of New Dwelling Requirements for Next 20 years (2041)	33
Table 10: Lot Yield Analysis of R1 - General Residential and R2 - Low Density Residential Area - Approved Subdivisions and Vacant Land.....	33
Table 11: Estimates of Potential Additional Lots R5 – Large Lot Residential Lots (2ha).....	34

List of Abbreviations	
Abbreviation	Term
ABS	Australian Bureau of Statistics
ANEF	Australian Noise Exposure Forecast
<i>Blueprint 100: Part One</i>	<i>Tamworth Regional Blueprint 100: Part One</i>
<i>Blueprint 100: Part 2: LSPS 2020</i>	<i>Tamworth Regional Blueprint 100: Part Two: Local Strategic Planning Statement 2020 adopted 26 May 2020</i>
CBD	Central Business District
DPHI	Department of Planning, Housing and Infrastructure
EOI	Expression of Interest
<i>EP&A Act 1979</i>	<i>Environmental Planning and Assessment Act 1979</i>
FPA	Flood Planning Area
FSR	Floor Space Ratio
HCA	Heritage Conservation Area
LEP	Local Environmental Plan
LGA	Local Government Area
RHS	Tamworth Regional Housing Strategy
<i>Regional Plan 2041</i>	<i>New England North West Regional Plan 2041</i>
PMF	Probable Maximum Flood
SEPP	State Environmental Planning Policy
<i>TACR 2023</i>	<i>Tamworth Activity Centre Review 2023</i>
TRC, Council	Tamworth Regional Council
<i>Tamworth Tomorrow Strategy</i>	<i>Tamworth Tomorrow – Economic Development and Investment Strategy 2022-2026</i>
TfNSW	Transport for NSW
TIA	Traffic Impact Assessment
<i>TRDCP 2010</i>	<i>Tamworth Regional Development Control Plan 2010</i>
<i>TRLEP 2010</i>	<i>Tamworth Regional Local Environmental Plan 2010</i>

Acknowledgements

Tamworth Regional Council acknowledges the support of the NSW State Government in the formulation of the Tamworth Regional Housing Strategy (RHS).

The strategy was developed under the Regional Housing Strategic Planning Fund – a housing initiative of NSW Government with the engagement of Wakefield Planning consultancy.



Council also expresses appreciation to the many individuals and groups who participated in workshops and meetings as well as the wider community who participated in the public consultation in November-December 2023.

Executive Summary

The Tamworth Regional Housing Strategy (RHS) presents Council’s vision for the future of land use and housing development in the Tamworth region. The RHS sets a framework for where housing can be delivered to ensure that the needs of the community can be met now and in the future.

The RHS has its basis in the Tamworth Regional Council Blueprint 100 documents, including Council’s local strategic planning statement, where housing was highlighted as key issue in the progression of the Tamworth region toward a population of 80,000 and ultimately 100,000 people. Initially adopted in 2020, *Tamworth Regional Blueprint 100: Part One (Blueprint 100: Part One)* and *Tamworth Regional Blueprint 100: Part Two: Local Strategic Planning Statement 2020 (Blueprint 100: Part 2: LSPS 2020)*, framed the means by which the community could grow and enjoy a high-quality lifestyle in the period to 2041.

However, the intervening years, marked significantly by the COVID-19 pandemic, have altered living and working patterns, highlighted new priorities, and spurred regional migration. This migration has brought opportunities but also challenges, including increased demand for housing, services, and infrastructure.

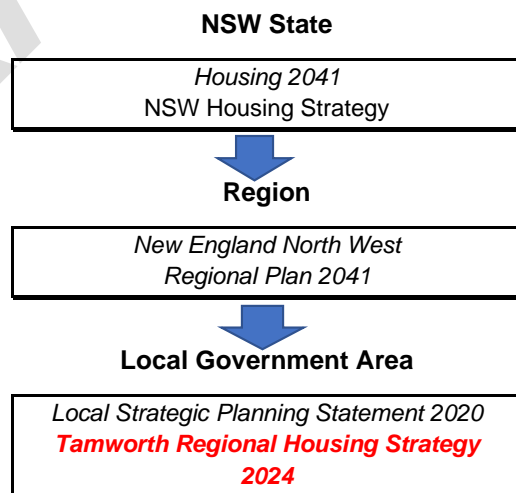
The NSW Government identified the need for housing and increased population in the Tamworth Regional Local Government Area (LGA) of 71,956 persons in 2041. Council’s *Blueprint 100: Part 2: LSPS 2020* identifies a potential increase of population to 81,000 at 2041 (based on trend data) and 100,000 between 2041 and 2061. Like many parts of regional Australia, Tamworth has experienced rising housing costs which has impacted social and economic stability.



In responding to the housing supply challenges, this RHS considers recent policy developments, including the Australian Government’s Housing Australia Future Fund and National Housing Accord, along with actions from the *NSW Housing Strategy 2041* and the *New England North West Regional 2041 (Regional Plan 2041)*. The RHS provides the framework for land use planning for new housing projects and promoting diverse housing solutions. For example, it emphasises the development of townhouses and apartments near town centres, encouraging a mix of housing types to boost supply, affordability, liveability, and community wellbeing.

Planning Hierarchy

The RHS is set within the NSW State planning framework as shown in the following diagram. The *Regional Plan 2041* provides the strategic framework for the region. It is a 20-year land use plan which is updated every 5 years. The *Regional Plan 2041* provides projections for population growth, as does *Blueprint 100: Part 2: LSPS 2020*, which the RHS aims to deliver.



Introduction

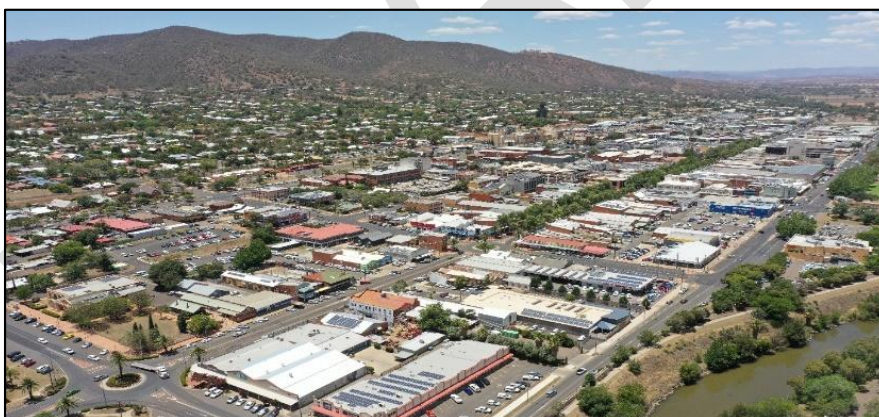
The vision for the Tamworth Regional Housing Strategy (RHS) is grounded in the land use vision of the *Blueprint 100: Part Two: Local Strategic Planning Statement 2020 (Blueprint 100: Part 2: LSPS 2020)*.

Our Vision

A future Tamworth Region will offer housing that meets the needs of a diverse and growing community which is well-designed to provide a wide range of lifestyle and affordability options.

This vision supports well-managed growth that includes:

- Increased densities and affordable housing choices in new land release areas and existing areas;
- Shop top and apartment living in key precincts of Tamworth such as the Tamworth CBD;
- A wide selection of lifestyle blocks in suitable locations;
- Housing opportunities of the regions towns and rural centres are encouraged: and
- Recognition of unique localities including their heritage and neighbourhood character.



Planning Policy Context

NSW Housing Strategy

The overarching vision of the *NSW Housing Strategy* is that:

“NSW will have housing that supports security, comfort, independence and choice for all people at all stages of their lives”.



NSW housing system pillars

The vision is reflected in the four pillars of supply, diversity, affordability and resilience of housing.

- **supply**—housing supply delivered in the right location at the right time
- **diversity**—housing is diverse, meeting varied and changing needs of people across their life
- **affordability**—housing that is affordable and secure
- **resilience**—housing that is enduring and resilient to natural and social change.

The objectives in each pillar are interrelated and together will contribute to improved economic, health and social wellbeing outcomes for the people of NSW.

NSW Regional Housing Taskforce

In June 2021 the NSW Government established the Regional Housing Taskforce (the Taskforce) to respond to increasing pressures on the supply and affordability of housing in regional NSW.

The focus of the Taskforce was to:

- Identify and resolve barriers in the planning system to housing supply and affordability;
- Provide recommendations on ways to speed up the delivery of new homes in regional NSW; and
- Find ways to encourage building new houses on appropriately zoned land.

The Taskforce consulted widely with Councils (including Tamworth Regional Council), the development sector, not-for-profit housing providers and community groups. Having considered all the feedback, the Taskforce provided an independent report to the Minister for Planning, Housing and Infrastructure on 29 October 2021.

The task force made five (5) key recommendations for the NSW Government as follows:

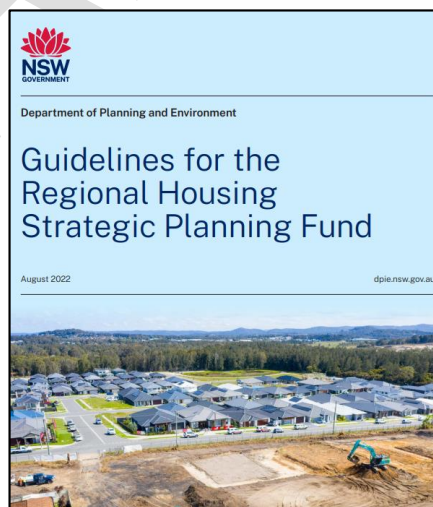
1. Support measures that bring forward a supply of 'development-ready' land;
2. Increase the availability of affordable and diverse housing across regional NSW;
3. Provide more certainty about where, when and what types of homes will be built;
4. Investigate planning levers to help deliver housing that meets short-term needs
5. Improve monitoring of housing and policy outcomes and demand indicators.

The recommendations were supported by 15 supporting targeted interventions that related to the recommendations.

The NSW Government intends to implement all task force recommendations as part of a comprehensive response with a goal to unlock 127,000 new homes in regional NSW over 10 years.

The response builds on the momentum of the *NSW Housing Strategy – Housing 2041* – that includes a range of initiatives to improve data, develop partnerships, speed up assessments, unlock land and enable infrastructure to create a strong housing pipeline across regional NSW.

The whole-of-government response includes existing and newly funded commitments announced as part of the NSW Government's \$2.8 billion 2022 Housing Package. Council has been successful in accessing some of this funding for infrastructure works on Duri Road associated with an urban release area. Council also secured funding for the formulation of this RHS under the *Regional Housing Strategic Planning Fund*.

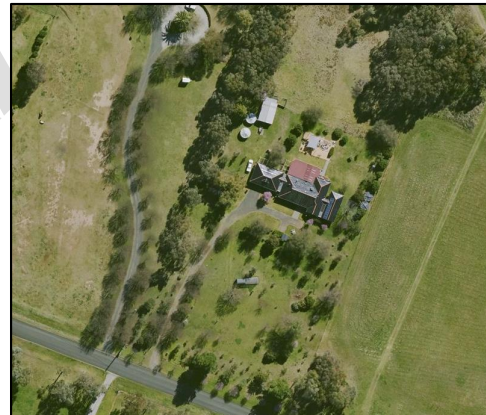


New England North West Regional Plan 2041 (Regional Plan 2041)

The *Regional Plan 2041* provides an overarching framework to guide subsequent and more detailed land use plans, development proposals, infrastructure funding decisions and housing strategies such as this. It contains various general statements about the future direction of residential development for the region, as well as specific information for the Tamworth Region.

Without limitation, the following key points are important to the RHS;

- Tamworth is expected to be home to 36.4% of the New England North West region's residents by 2041.
- Around 8,542 additional homes will be needed across the wider region over with greater housing diversity and affordable quality housing
- Growth is expected of older single and couple only households driving increased demand for smaller low maintenance dwellings.
- A mix of well-planned infill, greenfield and rural residential locations will be essential. When developing local housing strategies, infill housing is to be prioritised.
- Older people should have the ability to be comfortably housed as they age, in their home or move into seniors housing.
- Councils should consider providing for low-cost dwelling types in their local plans with less bedrooms and car parking on smaller lots to provide cheaper housing options.
- Tamworth Regional Council's priorities for the LGA are to deliver a variety of dwelling types and levels of affordability in Tamworth, including for temporary workers and to promote development that contributes to the unique character of Manilla, Kootingal, Barraba, Nundle and other areas.
- In preparing a land use strategy, rural residential development will be considered a component of residential supply.



A map of Tamworth City indicating future (and existing) areas for residential development is included as Figure 17 in the *Regional Plan 2041*, as shown overpage in **Figure 1**.



Figure 1: Extract of New England North West Regional Plan 2041 (Source: NSW Department of Planning and Environment, New England North West Regional Plan 2041)

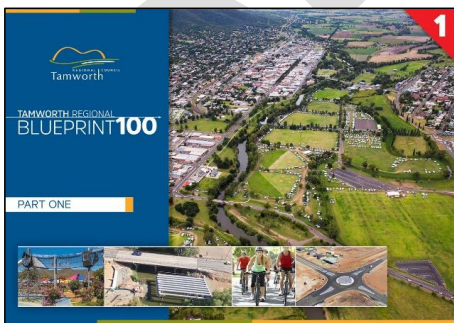
Blueprint 100: Part One

In 2020 Tamworth Regional Council adopted Blueprint 100 which consisted of two parts. Part One is an overarching policy that ties together all of Council’s strategies and policies. It provides a guide for the Tamworth Region to maintain a prosperous economy with high living standards as it grows toward a population of 100,000 persons.

Blueprint 100: Part One lists a number of priority themes, one of which is “*Facilitate smart growth and housing choices*”. This includes new residential land at Hills Plain to the north of Tamworth city and Arcadia to the south as well as identifying appropriate locations for rural-residential living.

The Blueprint expresses a concern with a *business-as-usual* approach. The continued expansion into low density rural residential areas is noted as having a number of infrastructure, servicing and community drawbacks. In this housing strategy a more balanced set of growth pathways are identified.

More diverse housing choices and increased housing affordability are strongly promoted in *Blueprint 100: Part One* and these issues feature prominently in this housing strategy.



Blueprint 100: Part Two - Council’s Local Strategic Planning Statement

Blueprint 100: Part Two: LSPS 2020 gives effect to the *Regional Plan 2041*, implementing priorities and actions at a more local level in the Tamworth region.

Among other things, the vision for land use expressed in *Blueprint 100: Part Two: LSPS 2020* indicates that “well designed living, play and work areas” are key elements of the future Tamworth area. They are reflected in the more detailed points described under “*facilitate smart growth and housing choices*” and also “*build resilient communities*”.

These are explored in this strategy and relate to:

- Increased density and affordable housing
- Shop top and apartment living
- Variety of density housing
- The selection of lifestyle blocks available
- Rural centres provide lifestyle opportunities and have inclusive communities
- Manilla and Kootingal’s growth is well-managed
- Options have been provided for the use of rural lands recognising land use and economic trends
- Tourism thrives in towns, villages and across the LGA
- Tamworth’s role as a retirement destination.



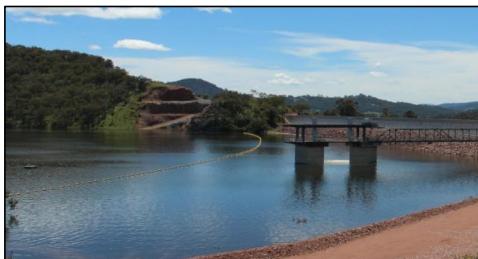
Blueprint 100 – Our Community Plan

The document was prepared as part of the Integrated Planning and Reporting Framework. Together with associated plans (resourcing plan, delivery plan and annual plans and budgets), it provides more details of how the strategies from *Blueprint 100: Part One* and the *Blueprint 100: Part Two: LSPS 2020* will be pursued.

In lock-step with *Blueprint 100: Part One* and the *Blueprint 100: Part Two: LSPS 2020*, it lists 9 strategic focus areas as follow:

1. Water Security
2. A liveable built environment
3. Prosperity and Innovation
4. Resilient and diverse communities
5. Connect our region and its citizens
6. Working with and protecting our environment
7. Celebrate our cultures and heritage
8. A strong and vibrant identity
9. Open and collaborative leadership.

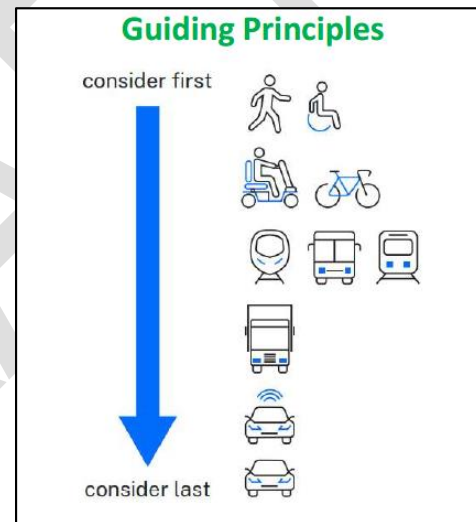
While meeting housing needs is directly addressed within the 'liveable built environment' theme, inter-linkages can be identified between housing and all the other focus areas. For example, water security into the future is essential to support a growing population (Focus area 1), resilient communities depend upon having appropriate residential accommodation (Focus area 4), and properly supporting the different sub-cultures within the region may require different housing types (Focus area 7). This strategy is built upon a recognition of these inter-relationships.



Tamworth Integrated Transport Strategy

Transport strategies are central to considerations of housing and community. Key messages from the Transport Strategy include:

- A move to more 'active' transport – i.e., walking and cycling along with increased provision and use of public transport.
- Streets within residential areas should be considered a part of the residential 'place', and not just an access way.
- New residential subdivisions should be designed to prioritise pedestrian and active movement. Overall location relative to retail and other services is to be considered.



The strategy is supported by the Tamworth Active Transport Strategy 2021 which sits within the Council Strategic Framework for Delivery of Transport.

State Environmental Planning Policies (SEPPs)

SEPP (Exempt and Complying Development Codes) 2008

The Exempt and Complying SEPP aims to “provide streamlined assessment processes for development that complies with specified development”. It includes pathways for a number of residential building types including single dwellings, 1 or 2 storey dual occupancy, manor house or multi dwelling housing (terraces). Although something of a “one size fits all” approach, it does facilitate various forms of infill and greenfield development which have the potential to contribute to housing diversity and more affordable housing.

SEPP (Housing) 2021

The principles of the Housing SEPP are:

- a) Enabling the development of diverse housing types, including purpose-built rental housing;
- b) Encouraging the development of housing that will meet the needs of more vulnerable members of the community, including very low to moderate income households, seniors and people with a disability;
- c) Ensuring new housing development provides residents with a reasonable level of amenity;
- d) Promoting the planning and delivery of housing in locations where it will make good use of existing and planned infrastructure and services;
- e) Minimising adverse climate and environmental impacts of new housing development;
- f) Reinforcing the importance of designing housing in a way that reflects and enhances its locality;
- g) Supporting short-term rental accommodation as a home-sharing activity and contributor to local economies, while managing the social

and environmental impacts from this use; and

- h) Mitigating the loss of existing affordable rental housing.

All of the above matters are of direct interest to this housing strategy. The SEPP operates through a number of provisions relating to:

- Infill affordable housing
- Boarding houses
- Supportive accommodation
- Residential flat buildings
- Retention of existing affordable housing
- Diverse Housing
- Residential apartment design

These SEPPs seek to address many of the common concerns and issues surrounding affordable and diverse housing. Notwithstanding this framework, however, housing stress is increasing, both in metropolitan and regional areas.

While SEPPs have been created at the NSW State level as enabling legislation to facilitate development their operation can have unintended effects at the local level. SEPP conditions tend to be ‘blind’ to local provisions such as those found in Precinct DCPs, and general objectives such as preserving or developing a particular neighbourhood character often based on iconic buildings.



Tamworth Regional Local Environmental Plan 2010 (TRLEP 2010)

The TRLEP 2010 provides the details of land use zones, permissible uses and other statutory requirements for development. In other words, it provides the rules about development across the Tamworth Regional LGA. Of specific interest to this study are the zones that permit residential accommodation and their locations as well as the associated development standards.

This relates to the types of housing development permissible in various areas of the Tamworth Regional LGA and provides the basis for examining the amount of undeveloped or underdeveloped zoned land to get a measure of the availability of housing land.

The Residential zones have been established for the main purpose of providing a variety of residential areas with supporting complementary uses.

The principal residential zones used in the Tamworth Regional LGA are:

R1 – General Residential

The objectives of this zone are:

- To provide for the housing needs of the community.
- To provide for a variety of housing types and densities.
- To enable other land uses that provide facilities or services to meet the day to day needs of residents.

All residential accommodation types are allowed in this zone and R1 is considered to be the most important residential zone.

R2 – Low Density Residential

The objectives of this zone are:

- To provide for the housing needs of the community within a low-density residential environment.
- To enable other land uses that provide facilities or services to meet the day to day needs of residents.

This zone is far more restrictive on residential accommodation and promotes dwelling houses on larger lots mostly of 2000m² and 4000m².



R5 – Large Lot Residential

The objectives of this zone are:

- To provide residential housing in a rural setting while preserving, and minimising impacts on, environmentally sensitive locations and scenic quality.
- To ensure that large residential lots do not hinder the proper and orderly development of urban areas in the future.
- To ensure that development in the area does not unreasonably increase the demand for public services or public facilities.
- To minimise conflict between land uses within this zone and land uses within adjoining zones.
- To provide a mix of housing that supports and encourages neighbouring equine-related facilities and is compatible with surrounding land uses and activities.

The only residential type that is allowed is detached houses. The predominant minimum lot size is 2ha

The operation of these three zones, in particular, are reviewed in this strategy.

RU5 – Village

The village zone is a multi-purpose zone that allows most types of development commensurate with a township environment. Most types of residential accommodation are permitted.

The settlements zoned RU5 include Attunga, Barraba, Bendemeer, Dungowan, Duri, Hanging Rock, Moonbi, Nundle, Somerton, Woolomin and Woolbrook. While these are important communities, these areas can be expected to support only a modest increase in residential accommodation. Minor variations can be considered to improve flexibility.

Other Zones

There are a range of other zones that permit residential accommodation across the

Tamworth Regional LGA. These include; employment, mixed use, industrial, rural and conservation zones. For the most part these zones have limited potential for residential growth. The rural zones focus on detached houses and employment zones promote shop top housing for the most part.

However, there is one vital exception in the form of the E2 – Commercial Centre zone. This zone applies to the Tamworth Central Business District (CBD) which has been of significant interest for some decades and highlighted through the Blueprint 100 process.

This strategy addresses the potential to increase higher density forms of residential development such as multi-dwelling housing, residential flat buildings and shop-top housing which are already permitted with consent.



Tamworth Regional Development Control Plan 2010 (TRDCP 2010)

The DCP contains detailed guidelines for development to complement the provisions contained in the *Tamworth Regional Local Environmental Plan 2010*.

Local Government Snapshot

The Tamworth Regional LGA is located in the New England North-West region of New South Wales, about 410 kilometres north-west of Sydney and 580 kilometres south of Brisbane. The Tamworth Regional LGA is surrounded by the rural Shires of Gunnedah, Narrabri, Gwydir, Uralla, Walcha, Upper Hunter, and Liverpool Plains (Figure 2). The traditional custodians of the land are the Gamilaroi/Kamilaroi people.

The Tamworth Regional LGA has an area of 9,893 square kilometres with a current population of 65,246 people. The city of Tamworth provides for one in three of the region's homes and jobs and 43,453 people overall (67% of Tamworth Regional LGA).

Tamworth is a thriving economic and cultural hub of north-western New South Wales which supports a variety of sectors including health care, social assistance, food processing, manufacturing, construction, education, accommodation, food services and agriculture. Tamworth Regional Council's Gross Regional Product in 2022/20223 was \$4.13 billion, which represents 0.56% of the state's Gross State Product (Source – Economy id.).

Tamworth's efforts to diversify its economy beyond agriculture, since the Second World War, from retail and manufacturing to tourism,

have been generally successful. Together with its role as the crossroads of the Liverpool Plains, that has led to its current position, as the chosen destination of one million visitors annually. Visitors explore the natural beauty of the region, participate in one of the multiple cultural and sporting events hosted annually, do business or pursue recreation.

Tamworth Regional Airport as a result has one of the highest passenger flows of any such airport of inland Australia. The intermodal freight facility will further cement Tamworth position as a regional centre. All of these factors, in addition to a long-standing entrepreneurial and innovative spirit, have contributed to the growth of Tamworth which is predicted to achieve a population of 80,000 by 2041.

Tamworth Regional Council is committed to establishing an environment that; fosters partnerships; propagates creative thinking; facilitates a business engagement focus to enable economic activation; increase the region's competitiveness and one that is responsive to the changing needs of the region's stakeholders.

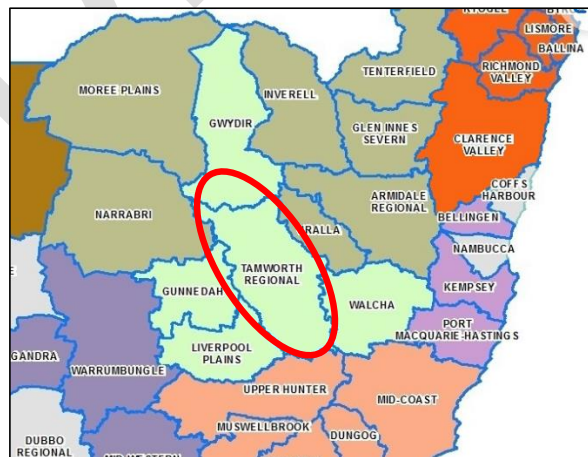


Figure 2: Local Government Areas - Northern NSW (Source: Office of Local Government)

Housing Vision

Our Housing Needs

Housing needs are determined by projected population growth, analysis of likely trends in demographics, including household types, household size, age cohorts and understanding housing preferences. The key drivers of population change are predominantly migration (inward arrivals versus outward departures) and natural change (births versus deaths).

Population change

The population of the Tamworth Regional LGA as of 30 June 2023 was 65,246. The population of Tamworth was 63,677 in 2021 using Australian Bureau of Statistics (ABS) census data, increasing by 8,790 people since 2006. The population of the Tamworth Regional LGA is expected to grow from 63,677 in 2021 to 80,769 by 2041, which equates to an increase of 17,092 persons at an average annual growth rate of 1.1%. This is shown below in **Figure 3**.

In order to understand the interaction of supply and demand for housing within the Tamworth Regional LGA, it is critical to understand population projections. **Table 1**, draws upon three data sets, being ABS Census, Department of Planning Population Projections and *informed decisions* to analysis scenarios of population growth for the Tamworth Regional LGA.

Based on estimates of growth rates from the Census data (both directly and as interpreted by i.d), it is estimated that Total Tamworth Regional LGA population would grow at an annual rate of between 1.1% and 1.2% **until 2041** under a “business as usual” scenario. This will result in a total population of around 80,000 people.

It is noted, *Blueprint 100: Part One* set an aspiration population of 100,000 people at 2041 which would bring forward housing requirements significantly.

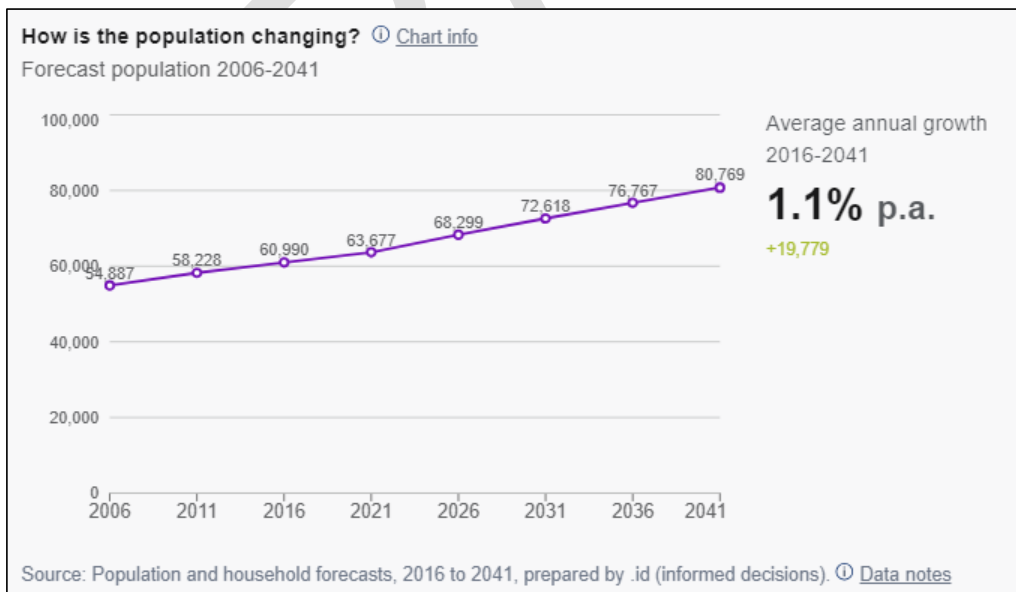


Figure 3: Forecast population 2006-2041

Data Source	2016	2021	Annualised growth	2041 projection	Annual rate used for projection
LGA – as per Census	59,663	63,070	1.12%	78,806	1.12%
LGA - Dept Planning	60,990	62,769	0.58%	71,956	0.69%
LGA - .id ERP	60,990	63,677	0.86%	80,769	1.2%

Table 1: Comparison of Projections using Census (Source: ABS Census, 2021, NSW Planning Portal, NSW Population Projections and Population and household forecasts, 2021 to 2041, prepared by .id (informed decisions))

Migration

The vast majority of migration to the Tamworth region originates from neighbouring regions, to the north, south and west. International migration is also an important contributor to population growth as evidenced by increasing numbers of overseas arrivals, particularly in the last five to ten years as shown below in Figure 4.

Overall, 5,289 people who were living in Tamworth Regional Council in 2021 were born overseas, and 32% arrived in Australia within 5 years prior to 2021. Local historical migration patterns (inward and outward) affecting the region between 2011 and 2016 are demonstrated below in Figure 5.

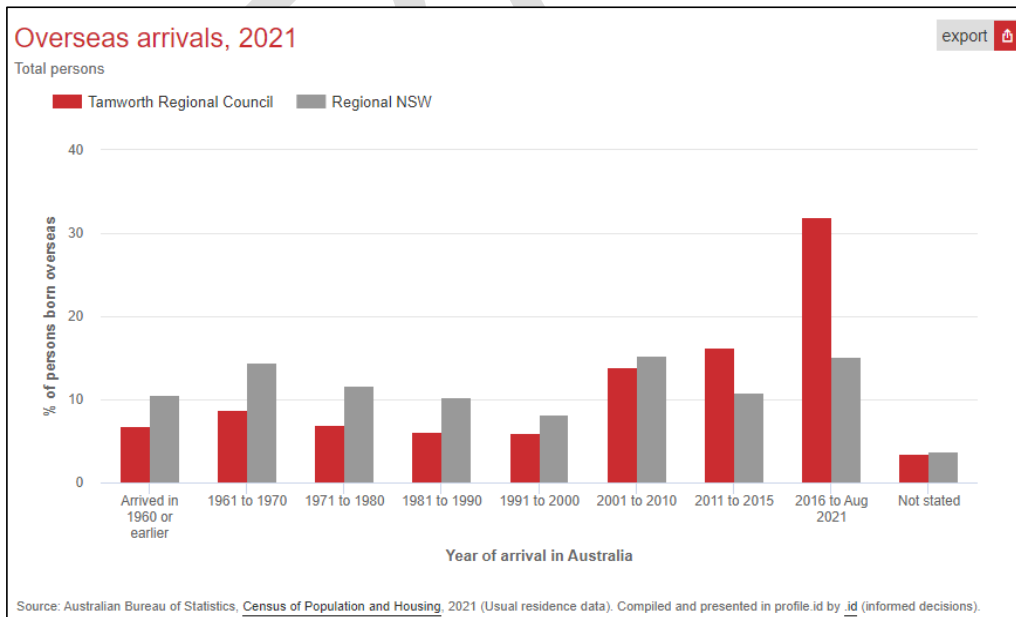


Figure 4: Overseas arrival comparison between Tamworth Regional LGA and Regional NSW

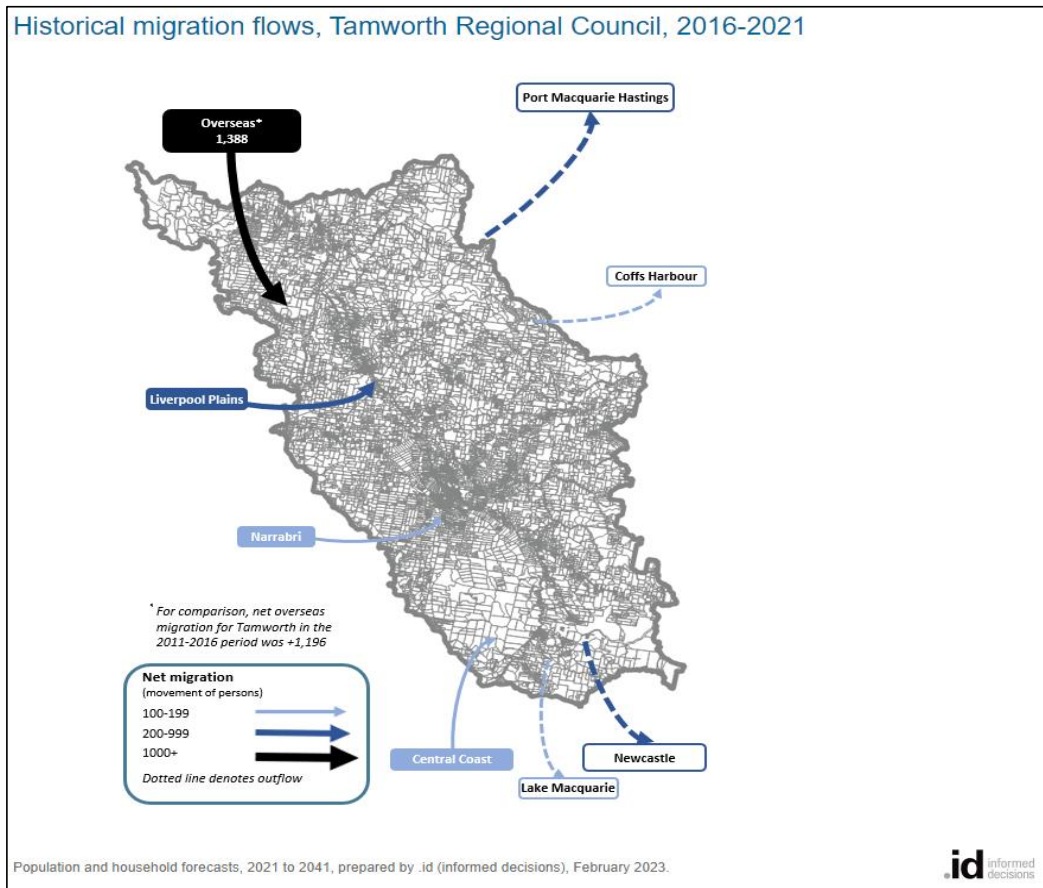


Figure 5: Historical migration flows

Race/Cultural Identity

According to the 2021 Census data published by the ABS, the Tamworth region records a smaller proportion of persons born overseas (8.4%) when compared to the Regional NSW (12.2%). However, between 2016 and 2021 the number of persons born overseas has increased by 1244 people or 30.8%. The largest change in persons born overseas is for those born in:

- Vietnam (+278 persons)
- India (+268 persons)
- Nepal (+175 persons)

The Tamworth region records a higher proportion of persons identifying as Aboriginal or Torres Strait Islander (12.7%) when compared to the Regional NSW (6.6%), NSW (3.3%) or Australia (2.9%).

The Tamworth region's racial profile appears to be undergoing significant change in recent years. Growth in south-east Asian immigration is evident in comparison to a reduction in British and Irish persons migrating to the region.

Age profile

According to the ABS Census of Population and Housing 2021 the Tamworth region’s age profile generally mirrors the profile of Regional NSW with some minor exceptions.

The Tamworth region has a higher proportion of pre-school and school aged children and a smaller proportion of elderly, seniors, empty nesters and older workers when compared to Regional NSW as a whole. Young workers aged 25-34 are well represented along with parents and homebuilders aged 35-49.

Figure 6 below shows the service age groups of Tamworth Regional Council in 2021

compared to Regional NSW. The breakdown of age structure shows that there was a higher proportion of people in the younger age groups (0 to 17 years). This could reflect a higher birth rate over previous years, and/or families are moving to the area to provide a better environment to raise their children. This also correlates with Tamworth Regional LGA’s larger household size and household occupancy compared to NSW.

Overall, 24.4% of the population was aged between 0 and 17, and 25.9% were aged 60 years and over, compared with 21.4% and 29.1% respectively for Regional NSW.

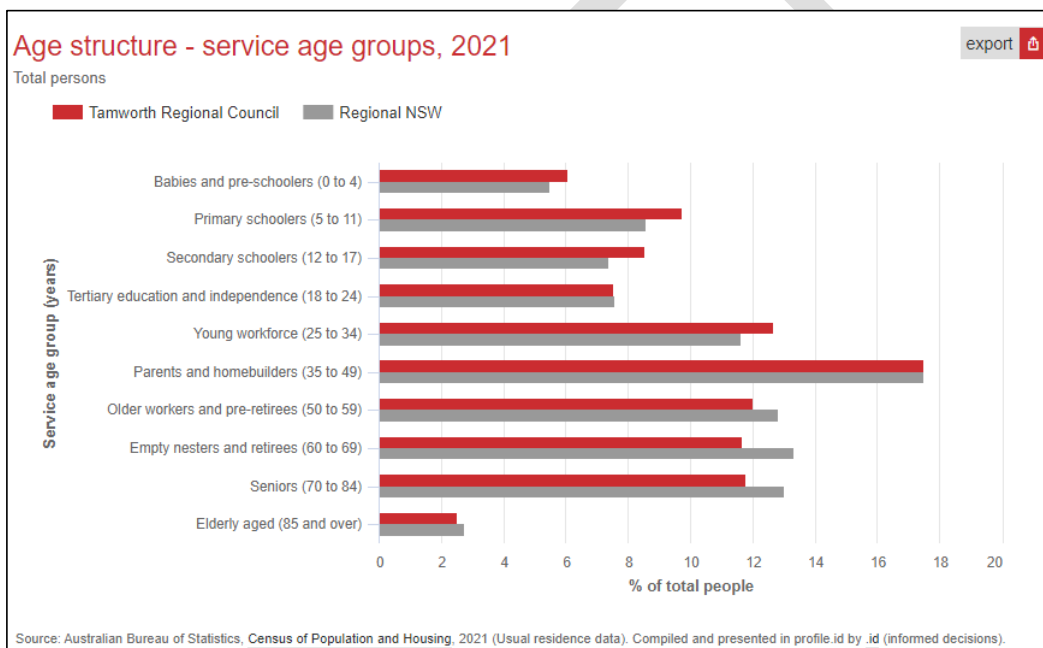


Figure 6: Household size comparison between Tamworth Regional LGA and Regional NSW



Household size

Table 2 shows the household composition by the number of persons usually resident for the Tamworth Regional LGA as at the 2006, 2011, 2016 and 2021 Census. **Figure 7** shows how this compares to the statistical average across Regional NSW. The breakdown of dwelling sizes has remained largely the same but data suggest a drop-off in households of between 2

persons and 5 persons. The largest increase was of 1 person households at 2.6%.

Two person households continue to remain the most popular household size in the Tamworth Regional LGA, at 34.7% of all households. This is followed by 1 person households at 28.4%. Households with 5 or more persons are comparatively rare.

No of persons	2006 (%)	2011 (%)	2016 (%)	2021 (%)
1 person	25.8	26.5	27.4	28.4
2 persons	35.6	36.5	35.4	34.7
3 persons	15.1	14.6	14.6	14.4
4 persons	13.7	13.2	13.1	13.1
5 persons	6.8	6.2	6.2	6.0
6 + persons	2.8	2.7	3.0	3.1
	100	100	100	100

Table 2: Household size 2006-2021 (Source: ABS Census 2021)

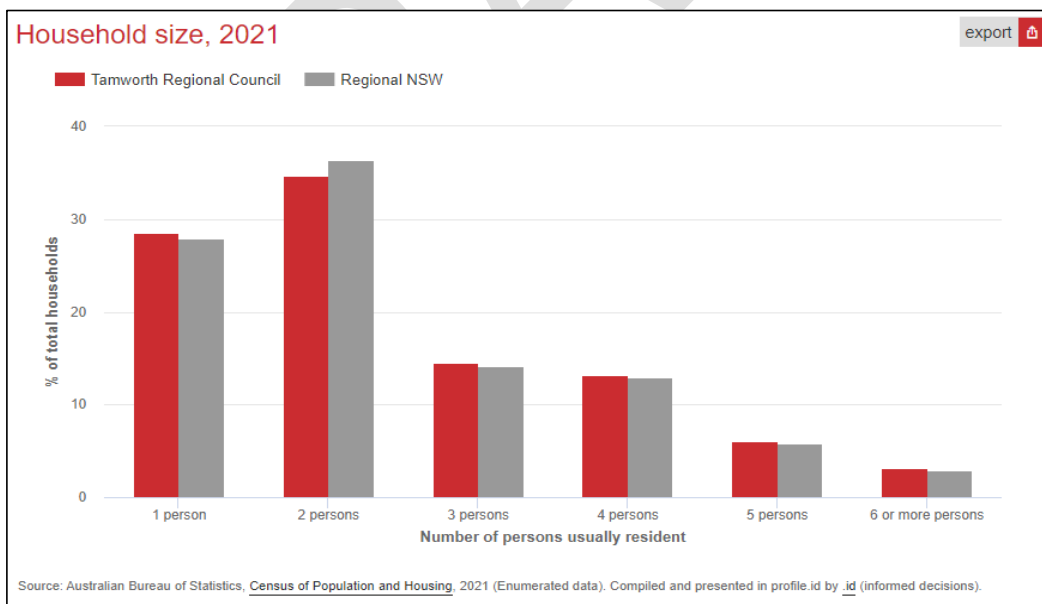


Figure 7: Household size comparison between Tamworth Regional LGA and Regional NSW



Household occupancy

In 2021, the average household occupancy in the Tamworth Regional LGA was 2.4 people. The average household occupancy rate has remained relatively stable between 2006 to 2021. The household occupancy sits below the NSW average of 2.6 persons per dwelling, however is consistent with Regional NSW of 2.4 persons per dwelling.

Household composition

Figure 8 shows the distribution of different household types in the Tamworth Regional LGA. The dominant household type in 2021 were lone persons, which made up 26.5% of households within the LGA compared with

26.1% across Regional NSW. The proportion of couples without children in the Tamworth Regional LGA (26%) was lower than Regional NSW (27.7%), while couples with children are generally consistent with Regional NSW (24.7% v 24.8%). **Table 3** demonstrate that smaller household types make up a significant portion of the overall housing composition in the Tamworth Regional LGA.

Forecast household types for the period 2016-2041 reflect the ongoing trend for increases in single person households. Single person households are predicted to be the largest cohort by the year 2041. The next most significant cohort is that of couples without dependents.

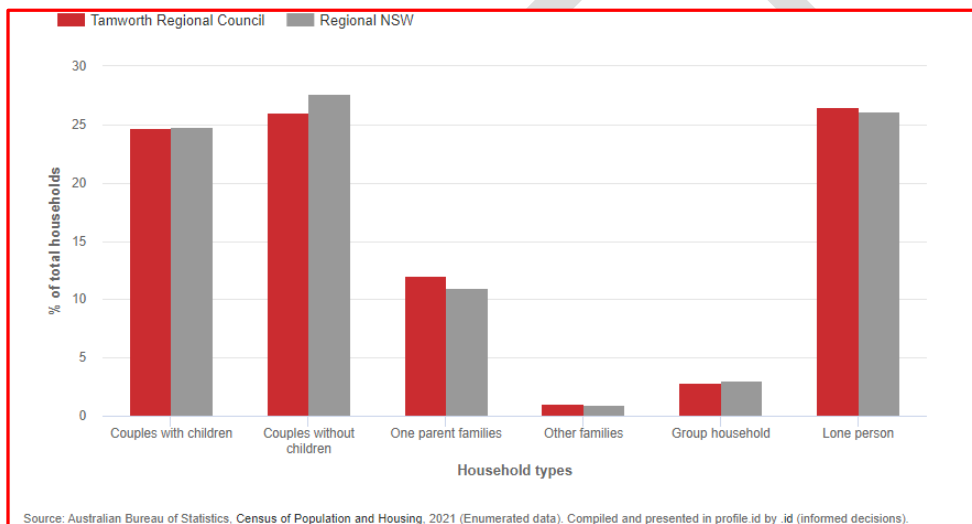


Figure 8: Household composition comparison between Tamworth Regional LGA and Regional NSW

Tamworth Regional Council Type	2016		2026		2041		Change between 2016 and 2041 Number
	Number	%	Number	%	Number	%	
Couple families with dependents	6,375	25.8	6,986	24.9	8,095	24.5	+1,720
Couples without dependents	6,968	28.2	8,020	28.6	9,468	28.7	+2,500
Group households	747	3.0	779	2.8	878	2.7	+131
Lone person households	6,929	28.0	8,151	29.0	9,807	29.7	+2,878
One parent family	3,211	13.0	3,602	12.8	4,133	12.5	+922
Other families	504	2.0	548	2.0	626	1.9	+122

Table 3: Forecast household type (Source: Profile .id (informed decision))

Household income

Household Income is one of the most important indicators of socio-economic status. **Table 4** shows the weekly household income for the Tamworth Regional LGA, compared to Regional NSW and NSW. Tamworth Regional LGA's weekly median household income is \$1,416. Analysis of household income levels in Tamworth Regional Council in 2021 compared to Regional NSW shows that there was a smaller proportion of high-income households (those earning \$3,000 per week or more) and a similar proportion of low-income households (those earning less than \$800 per week).

Overall, 14.6% of the households earned a high income and 25.8% were low-income households, compared with 16.7% and 26.0% respectively for Regional NSW.

Occupation

Figure 9 shows the occupation of employed residents in the Tamworth Regional LGA benchmarked against Regional NSW. The industries with the highest amount of employed residents were that of health care and social assistance (5,010 people or 18.3%), retail trade (2,876 people or 10.5%) and education and training (2,685 people or 9.8%).

	Median weekly household income	Median monthly mortgage repayment	Median weekly rent
Tamworth Regional LGA	\$1,416	\$1,517	\$300
Regional NSW	\$1,466	\$1,300	\$420
NSW	\$1,829	\$2,167	\$375

Table 4: Median household income and payments (Source: ABS Census, 2021)

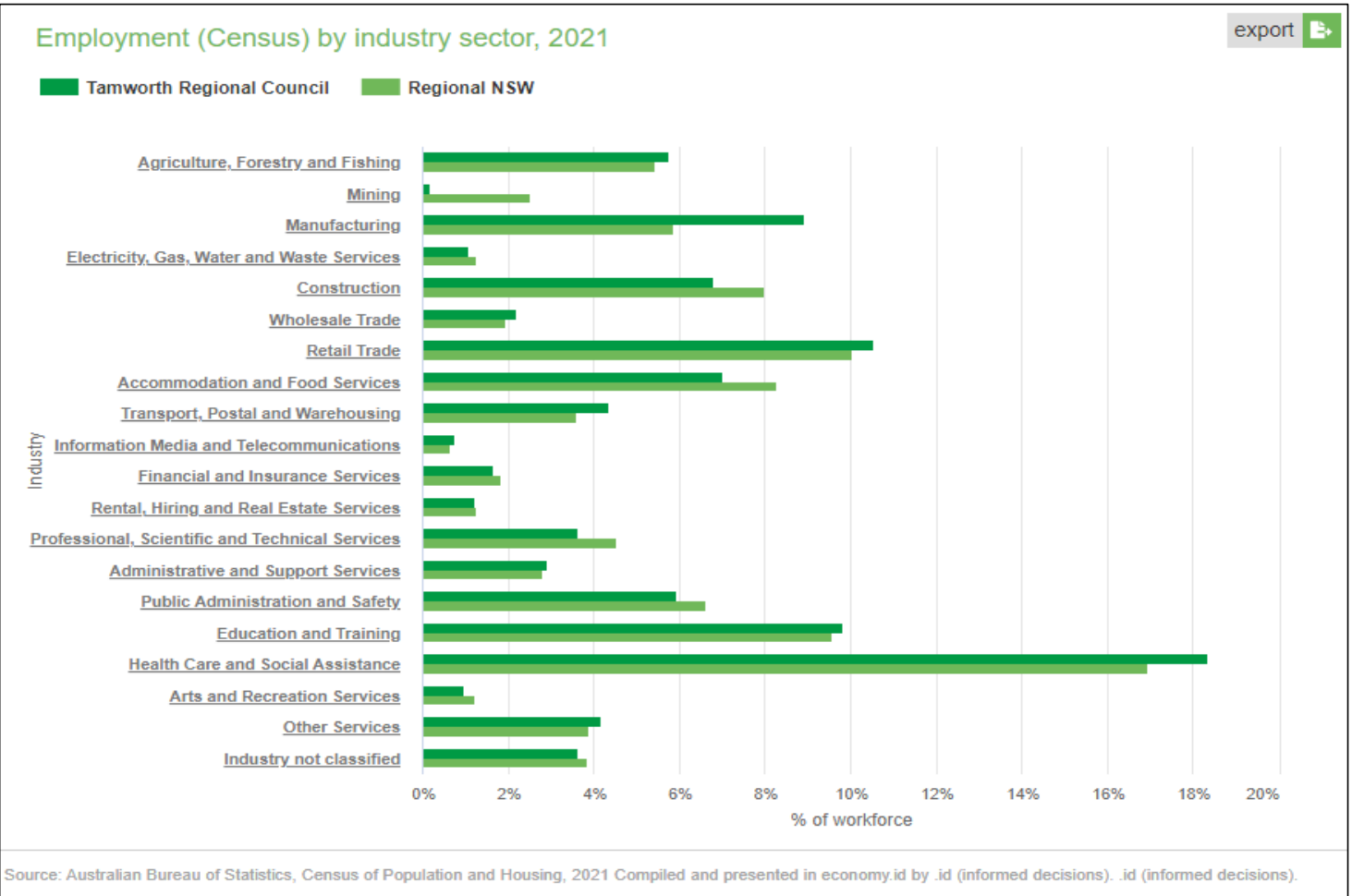


Figure 9: Employment by industry comparison between Tamworth Regional LGA and Regional NSW

Housing Tenure

Analysis of changes to housing tenure in the Tamworth Regional Council LGA in 2021 compared to Regional NSW (**Figure 10**) shows that there was a smaller proportion of households who owned their dwelling, a similar proportion purchasing their dwelling and a larger proportion who were renters.

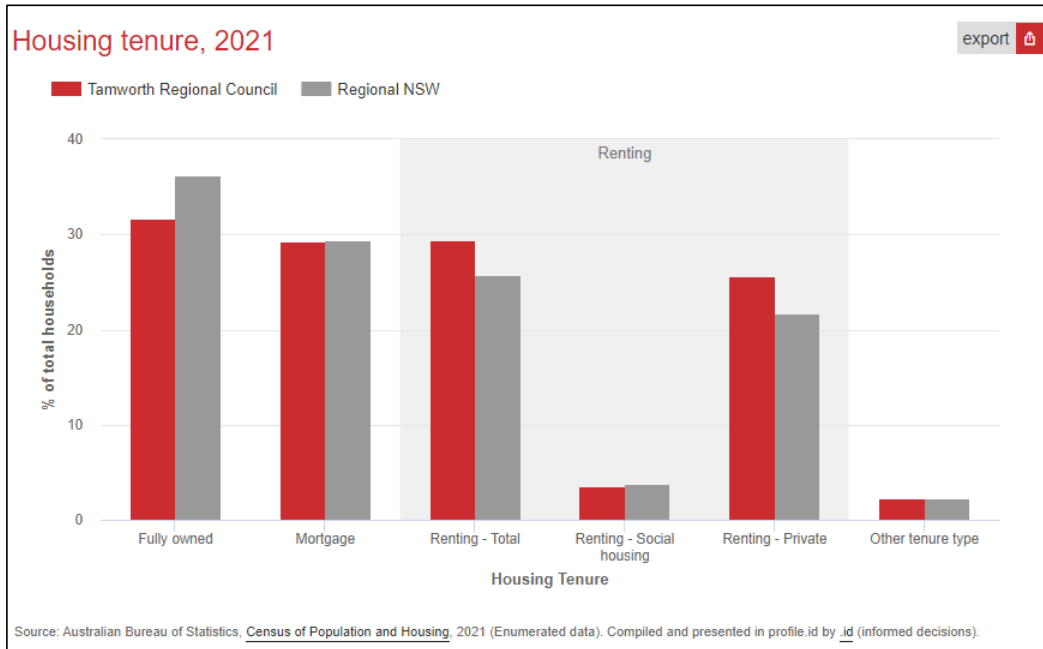


Figure 10: Housing tenure comparison between Tamworth Regional LGA and Regional NSW

Housing needs conclusions

The Tamworth region features a demographic profile largely comparable to the rest of regional NSW and in many regards, NSW as a whole. Steady and sustained population growth is facilitated by a combination of natural increase and inward migration which has increased in recent years.

Household size and composition demonstrate an upward trend for smaller households which may also explain the increase in renters and fewer owner-occupiers. The Tamworth Region’s residential development industry has traditionally been heavily reliant on the family occupied, single dwelling residential market. However, this cohort is now equally matched by lone person households and couples without children.

Recent growth in migration from south-east Asian countries consisting of predominantly small family units or individuals may explain some of the increases in rental properties and a decrease in home ownership. Moreover, new entrants are likely to rent in the short to medium term, moving on to permanent occupation once established.

In conclusion, it would appear that evidence of an ageing population and increases in single person households are likely to result in growing demand for low cost, low maintenance housing on smaller premises located close to the CBD and other precincts where services and high amenity are accessible

Item	Measurement	Census 2021	
Population	Number of persons in 2021	63,677	
Aboriginal and/or Torres Strait Islander	% of population		12.70%
Settlement hierarchy	Classification	Local Government Area	
Median age	Number of years	39	
Private dwellings	Number of dwellings	25,915	
Housing occupancy rate	persons per household	2.4	
Household composition	Family households	16,167	68.5%
	Lone person households	6,726	28.5%
	Group households	722	3.1%
Housing structure	Separate houses	20,808	89.0%
	Multi dwelling housing	2,157	9.2%
	Residential flats	419	1.8%
Housing size	Studio/1 bedroom	871	3.8%
	2-3 bedrooms	13,016	56.1%
	4 or more bedrooms	9,314	40.1%
Tenure	Owned outright	7,934	35.0%
	Owned with mortgage	7,382	32.6%
	Rented	7,336	32.4%
Vacant Houses	As noted by Census Officer	2,290	8.9%
Household income	Median weekly	\$1,416	
Mortgage repayments	Median monthly	\$1,517	
Rental payments	Median weekly	\$300	
Housing stress	Mortgage (as a percentage of total mortgages)		10.70%
	Rental (as a percentage of total rentals)		32.80%
In full or part-time employment	% of persons in labour force		89.80%
Unemployed	% of persons in labour force		4.50%
Away from work	% of persons in labour force		5.70%
Population Growth Rate	% p.a.		1.10%

Table 5: Summary Snapshot of the Tamworth Regional LGA (Source: ABS Census, 2021)

Meeting Housing Needs

Building Approvals

Building approvals in the Tamworth region, for all housing types, demonstrates a relatively stable and improving pattern over the last 10 years as shown below in **Figure 11**.

In total, 3,824 dwellings were issued with a form of construction approval between July 2013 and June 2023. This equates to an average of 382 building approvals per year.

Dwelling by type

The Tamworth region features a wide variety of housing options; however, residential dwelling construction has traditionally been dominated by owner occupied detached dwellings as shown in **Figure 12**. In both the 2016 and 2021 Census years the region recorded a higher relative percentage of separate dwellings when compared to the Regional NSW average, reflecting historical preferences. This is also reflected in **Figure 13** which demonstrated a strong preference for 3 to 4 bedroom detached dwellings.

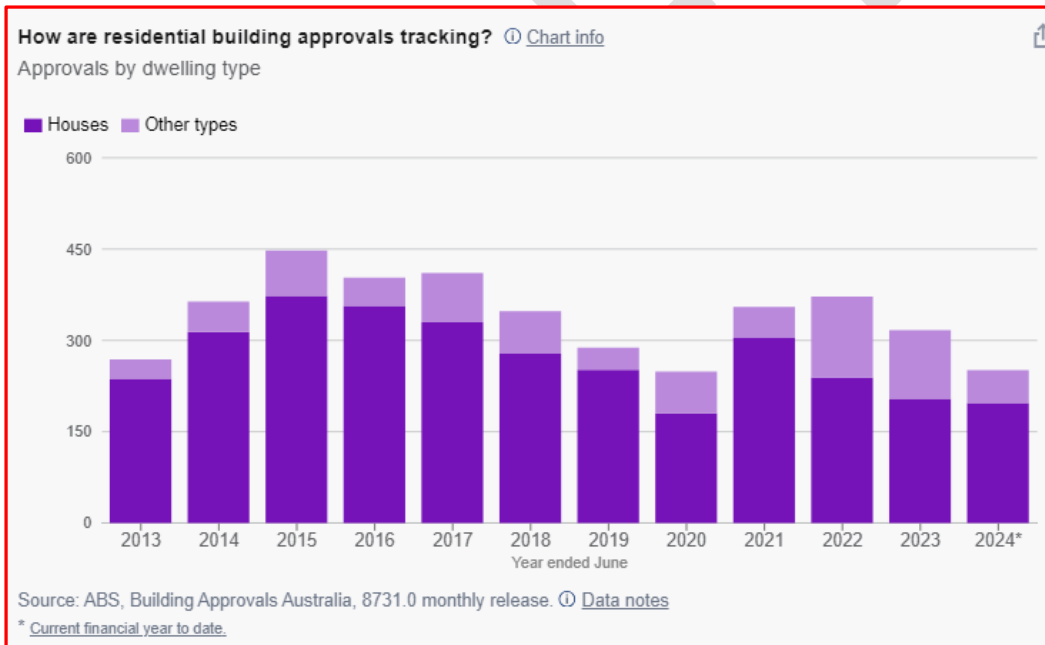


Figure 11: Residential building approvals

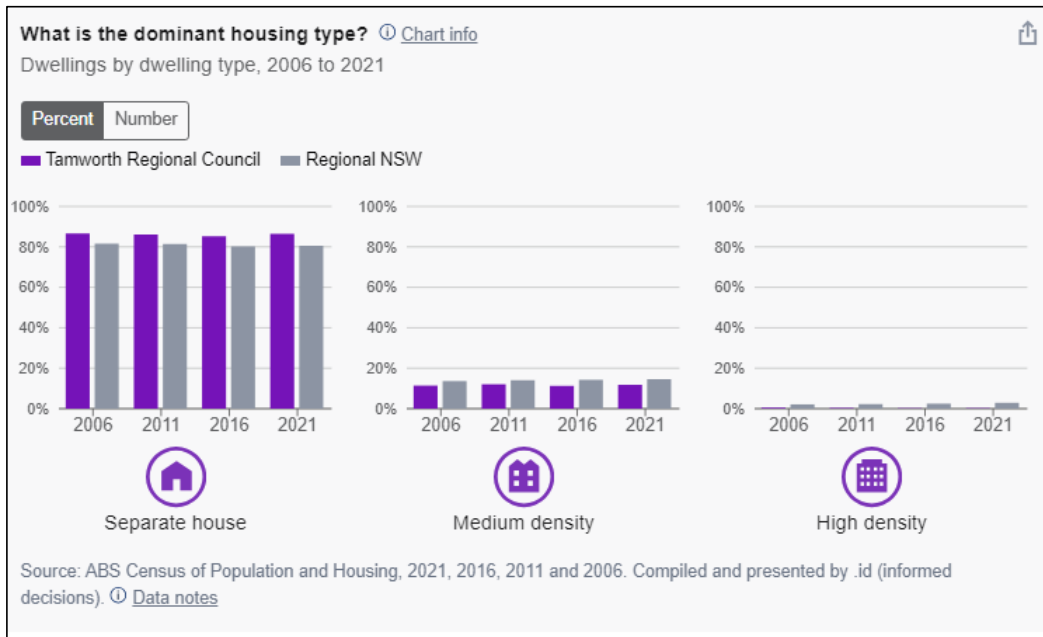


Figure 12: Dominant dwelling type comparison between Tamworth Regional LGA and Regional NSW

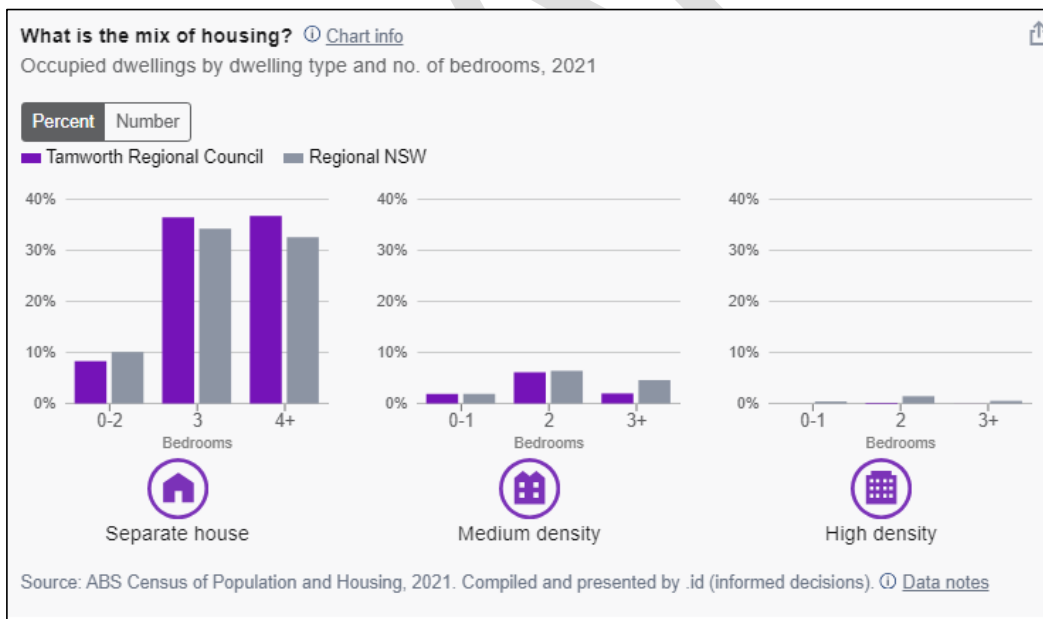


Figure 13: Mix of housing types comparison between Tamworth Regional LGA and Regional NSW



Table 6 provides a further breakdown and comparison of dwelling structure between 2016 and 2021. Notably, the separate houses dominate the housing stock and comprises a higher proportion of overall stock compared to Regional NSW. There has been a slight increase in the number of medium density dwellings constructed during the inter-census period and interestingly the number of caravans and cabins and 'other' dwellings have decreased significantly. This type of housing stock generally provides housing for the low-income households. The reduction in the number of caravan, cabins and 'other' housing from 2016 to 2021 could likely be attributed to lockdowns associated with COVID-19 that restricted tourism and travel.

Tamworth Dwelling type	2021			2016			Change 2016 to 2021
	Number	%	Regional NSW %	Number	%	Regional NSW %	
Separate house	23,914	86.5	80.6	22,186	85.2	80.2	+1,728
Medium density	3,254	11.8	14.6	2,937	11.3	14.3	+317
High density	60	0.2	2.9	53	0.2	2.5	+7
Caravans, cabins	233	0.8	1.2	329	1.3	1.7	-96
Other	45	0.2	0.4	357	1.4	0.7	-312
Not stated	136	0.5	0.4	167	0.6	0.7	-31
Total Private Dwellings	27,642	100.0	100.0	24,235	100.0	100.0	+1,613

Table 6: Dwelling structure (Source: ABS, Census of Population and Housing 2021 and 2016.)

New dwelling construction

Similarly, a review was undertaken of both observed take-up rates of new dwelling construction in the key growth areas. This indicates the degree to which vacant land is actually being translated into dwellings. **Table 7** below shows actual dwelling construction rates in key growth areas. This includes on new lots created from greenfield as well as on existing subdivided lots.

A total of 1104 dwellings were constructed in the main growth areas between the 2016 and 2021 censuses while a further 610 were constructed from 2021 to end 2023. This constitutes a fairly consistent 7% growth rate per annum over the survey period. While results are a little variable across areas, there is no consistent evidence of a slow-down in dwelling production through to end 2023.

Area Name	No. of new dwellings 2016-2021	% growth per annum 2016-2021	No. of new dwellings 2021-2023	% growth per annum 2021- 2023
Calala	197	7%	121	8%
Kootingal	45	18%	6	3%
North Tamworth/Hills Plain/Moore Creek	242	8%	127	7%
Hillvue	287	9%	133	7%
Moonbi	23	2%	45	9%
Westdale	310	7%	178	7%
West Tamworth	82	2%	67	4%
TOTAL HOUSES	1104	7%	610	7%

Table 7: Houses Constructed in Main Growth Areas (Source: Profile .id (informed decision))

Housing preference

Different areas within the Tamworth region have developed different roles in fulfilling housing demand. **Table 8** is a summary of the key demographic groups and the areas of attraction within and around the city of Tamworth.

Rural areas outside of the city of Tamworth attract a significant proportion of retirees and fewer young adults and young families. However, new urban release areas such as Hills Plain offering larger lots in a semi-rural setting and located a short distance from the urban core have become very desirable for young families and couples.

Housing supply forecasts

The projections suggest that between 3,827 and 7,374 additional dwellings will be required in the Tamworth Regional LGA from 2021 to 2041 as shown in **Table 9**. Averaged over this 20-year period, this means between 191 and 356 new dwellings will be needed each year.

This aligns with the 2022 NSW Common Planning Assumption Projections undertaken by the Department of Planning, Housing and Infrastructure on behalf of the NSW Government, which forecasts 5,432 implied dwellings will need to be delivered in the Tamworth Regional LGA between 2021 and 2041 equating to a moderate rate of 272 dwellings per year.

By comparison, average annual dwelling approvals for the 10 years between 2013 and 2023, was 382 dwellings per year.

The LGA's ability to accommodate new dwellings in the future is largely influenced by the amount of land available for residential development. It is important to note that not all vacant land has the propensity to be developed for new housing due to environmental, land use or geographical constraints.

Demographic Group	Area
Young Families	Calala (urban), Hillvue, North Tamworth, Oxley Vale, Westdale, West Tamworth
Mature Families	Moore Creek, Daruka, Tintinhull, Hallsville, Warral, Kingswood, Nemingha, Calala (rural)
Young Adults	South Tamworth, Tamworth CBD, East Tamworth, West Tamworth (central), West Tamworth (Coledale)
Empty Nesters	East Tamworth, West Tamworth (central), CBD, South Tamworth
Retirees	East Tamworth, West Tamworth (central), CBD, South Tamworth

Table 8: Demographic Groups – Tamworth (Source: Informed decision data (Profile .id))

Data Source	Additional Persons	Dwellings at 2.4 persons / dwelling in 2041
Additional people 2021 to 2041 - ABS data	15,736	6,556
Additional people 2021 to 2041 - Dept Planning data	9,187	3,827
Additional people 2021 to 2041 - .id ERP data	17,699	7,374

Table 9: Analysis of New Dwelling Requirements from 2021 to 2041 (Source: ABS Census, 2021, NSW Planning Portal, NSW Population Projections and Population and household forecasts, 2021 to 2041, prepared by .id (informed decisions))

Urban residential lands

There is capacity within the existing R1 – General Residential and R2 – Low Density Residential areas to accommodate 8,806 dwellings under existing planning controls as shown in **Table 10**.

In the future, Arcadia (South Tamworth, Hillvue and Surrounds) and Stratheden (Oxley Vale) are expected to be developed, together with ongoing growth at Hills Plain and surrounds. There is considerable available

potential within existing greenfield lands. There are some 1,368 allotments with some form of approval, and a potential 6,729 lots already zoned that could be subdivided. Together, this land can cater for another 21,134 people, taking the LGAs population to around 86,380 people. This development is, however, largely standard residential lots with detached housing. The Tamworth Regional LGA has only 10% of its housing as medium density and less than 1% as high density.

Locality	Lots subject to a Subdivision Works certificate	Approved Lots	Potential Lot Yield of Vacant Land	Total Potential Lot Supply for R1 & R2 zoned land
Hills Plain	379	633	1,503	
Calala	21	453	0	
South Tamworth, Hillvue and Surrounds	139	8	2,642	
Oxley Vale	9	21	1,325	
Westdale	66	0	235	
Mount Falcon and Surrounds	0	253	498	
Kootingal	95	0	309	
Manilla	0	0	217	
Totals	709	1368	6,729	

Table 10: Lot Yield Analysis of R1 - General Residential and R2 - Low Density Residential Area - Approved Subdivisions and Vacant Land (Source: Compiled by Tamworth Regional Council)

Rural residential lands

Rural residential land is principally zoned R5 – Large Lot Residential under the *TRLEP 2010* with a minimum lot size of 2ha. A significant issue relates to the theoretical supply of 2ha lots which derived from the area of lands with a lot size of 2ha taking into account fragmentation, established estates and 25% allowance for services. When calculated the theoretical supply of 2ha lots is 1,836 lots. This theoretical supply is spread across four main areas as shown below in **Table 11**.

The practical availability of 2ha lots; however, is much less (223 lots) when vegetation and existing planning controls, particularly the limits of water supply, are considered. This is shown in **Table 11** under the ‘LSPS 2020 Practical Supply Analysis’ column. This analysis shows that while in theory Council has an abundance of rural residential land zoned, the practical supply is much less and heavily influence by the requirement for reticulated water and environmental constraints.

Locality	Calculated Area (Gross)	Calculated Area (less 25%)	Potential Lot Yield of Vacant Land (2ha)	LSPS 2020 Practical Supply Analysis
Hallsville /Moore Creek / Daruka	1,908	1,336	668	96
Moonbi Hinterland	773	541	271	20
Tintinhull / Nemingha	1,240	868	434	97
Piallamore / Nundle Road	1,254	878	439	10
Total	5,175	3,672	1,836	223

Table 11: Estimates of Potential Additional Lots R5 – Large Lot Residential Lots (2ha) (Source: Compiled by Tamworth Regional Council)

Summary of Supply of Urban Residential and Rural Residential Lands

In consideration of current planning provisions, the Tamworth Regional LGA has a theoretical supply (potential lot yield of vacant land) of 10,642 residential zoned lots. However, when considering the practical supply of R5 – Large Lot Residential zoned lots, the capacity of residential zoned lots is 9,029. Overall, this equates to a supply for 23 years and could cater for an additional 21,669 people in the Tamworth Regional LGA. Barriers to unlocking this land are discussed further in the Priorities of this RHS.



Affordable housing

Affordable housing is housing available to very low to moderate income households. Housing is usually considered affordable where the cost of rent or paying a mortgage does not absorb more than 30% of the gross income of a very low to moderate income households. Very low to moderate income households are defined in legislation, with the income ranges published annually.

Affordable housing (including affordable rental housing) are used to describe housing that is owned by government or a registered community housing provider, and rented to a mix of very low to moderate income households.

Housing stress

Housing stress is defined by the National Centre for Social and Economic Modelling (NATSEM) to occur when total payments for either mortgage repayments or rent are more than 30% of the gross (before tax) household income.

In 2021, of the 25,341 households in the Tamworth Regional LGA, there were 2,165 households (8.5%) experiencing housing stress. This is dominated by the 1,651 households in rental stress as shown below in

Figure 14.

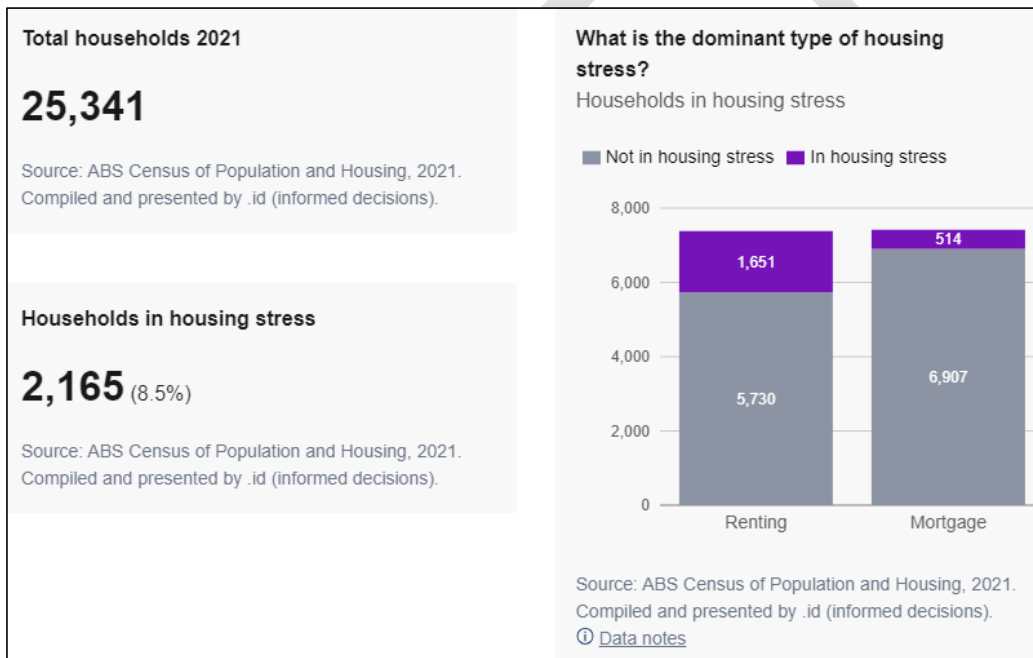


Figure 14: Dominant type of housing stress



Affordable housing needs

It is estimated that 1,150 households have an unmet need for affordable housing in the Tamworth Regional LGA. This represents 4.9% of all households compared to 5.0% for Regional NSW. This is shown

below in **Figure 15**. From a spatial point of view housing affordability varies considerably across the Tamworth Regional LGA. Essentially, the further the distance from the Tamworth CBD more affordable housing becomes. This is shown in **Figure 16**.

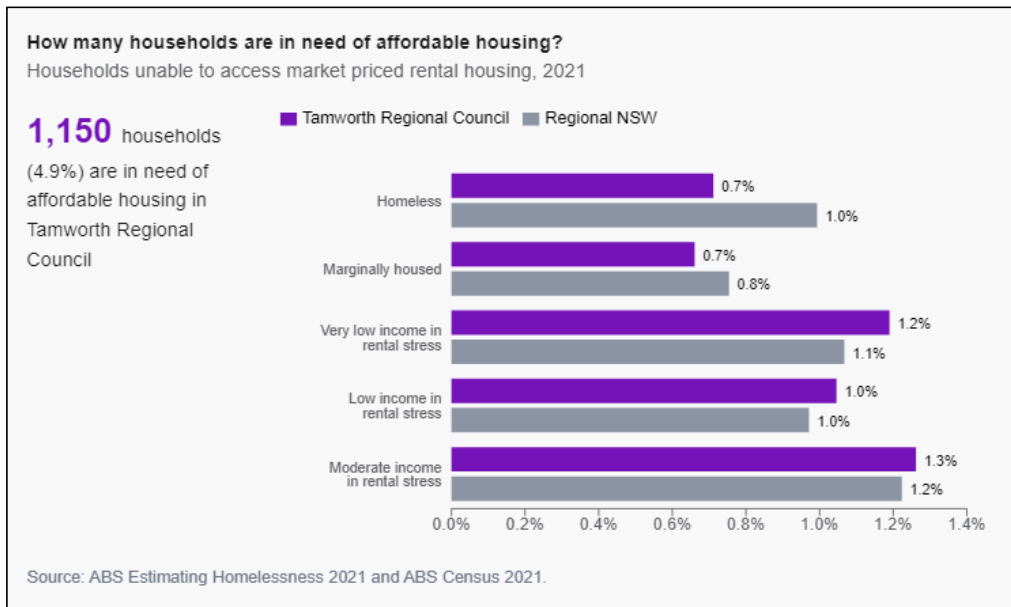


Figure 15: Households in need of affordable housing

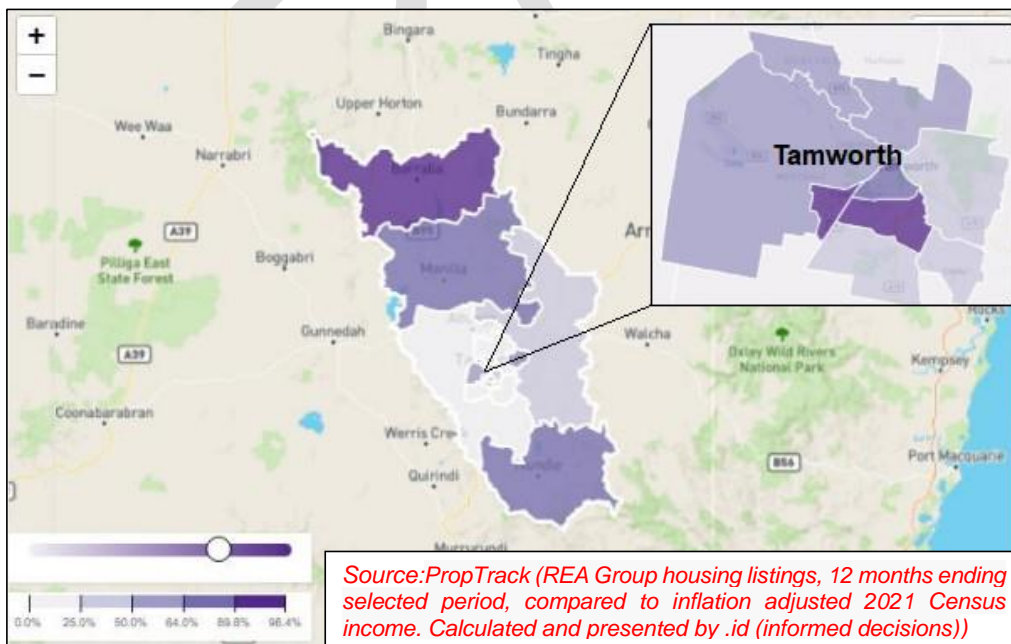


Figure 16: Housing Affordability by Area



The Tamworth housing affordability monitor gives a snapshot of affordability for different income levels within the Tamworth Regional LGA for buying a home and renting. This is shown in **Figure 17** and **Figure 18**.

This indicates a significant gap in affordability particularly for very low- and low-income earners. The current market conditions dictate that very low-income household cannot afford to purchase or rent an entry level or median house or unit based on current market prices. Furthermore, low-income households are

restricted to entry level units to purchase and affordable renting is restricted to units.

In part this is likely to be due to the housing mix where medium and high-density housing represents only 10% and 1% respectively of total housing stock across the LGA. In general, housing stress across the LGA is more likely to be experienced by people in rental accommodation rather than with mortgages. Altogether some 5.6% of all households in the LGA are either in rental stress, marginally housed or homeless.

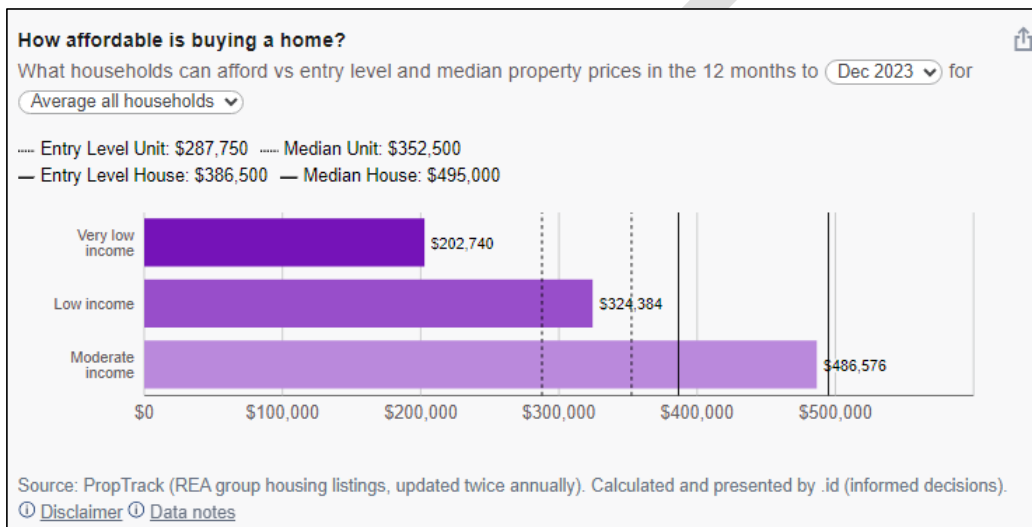


Figure 17: Housing Affordability Dec 2023

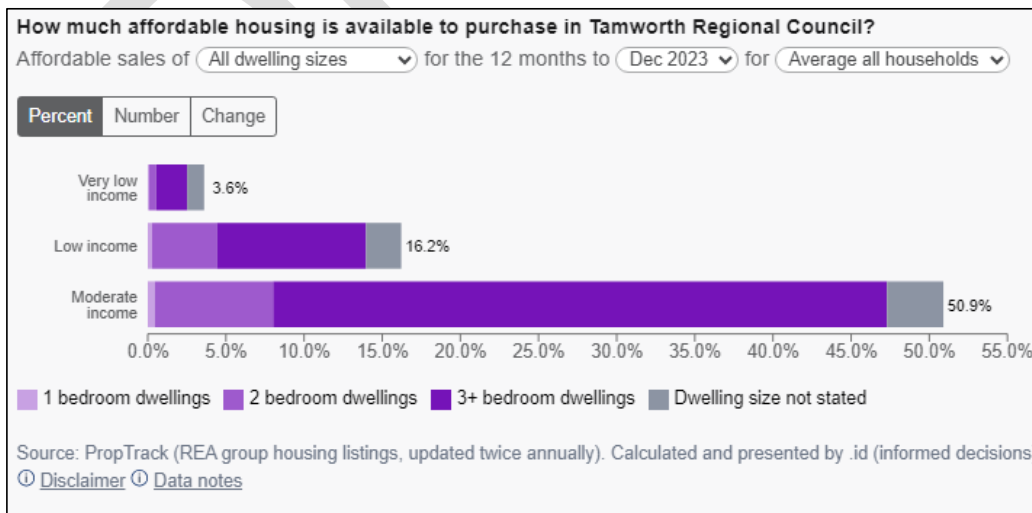


Figure 18: Rental Affordability Dec 2023

Housing supply gaps

Key findings from the evidence base informing this housing strategy suggest Tamworth Regional LGA is currently delivering sufficient housing supply to keep up with projected demand and that there is sufficient theoretical capacity under current planning controls to accommodate demand to at least 2041. If medium density and shop top housing infill development becomes more feasible over time, a much higher number of dwellings can be accommodated within the existing zoned land supply.

Council is in the early stages of the structure planning process for lands in Kootingal and Kingswood area south of Burgmanns Lane. These lands are identified in Council's strategic planning documents as future large lot investigation areas. However, beyond this based on the existing supply and pipeline, there is little evidence to warrant the identification of any further urban investigation or release areas within the first 5 to 10 years of this strategy. However, housing supply should continue to be monitored and reviewed regularly against projected demand to

determine where rezonings are warranted in response to localised or changed circumstances.

The predominant housing stock in the Tamworth Regional LGA is typically 3-4 bedrooms single detached dwellings. This lack of housing diversity coupled with smaller household size and significant increase in lone person and couple only households are likely to result in a growing unmet demand for smaller and low maintenance dwellings. The Tamworth Regional LGA has only 10% of its housing as medium density and less than 1% as high density. This strategy should provide greater emphasis on facilitating these housing types within established infill areas close to services to balance out the strong market preference for delivering larger detached dwellings in new urban release areas.

There is growing number of households in the Tamworth Regional LGA struggling with housing affordability and are living in housing stress. There is also a gap in the supply of social and affordable housing in a tight rental market.

Land use opportunities and constraints

Land use opportunities

Green infrastructure

Green infrastructure is our network of green spaces and natural systems and includes parks, open space, street trees and gardens as well as bushland and waterways. Green infrastructure is essential to creating healthy and liveable environments and to adapt to and mitigate the effects of climate change.

Housing diversity

The provision of alternative densities and smaller minimum lot sizes in greenfield and infill locations will encourage a wider range of housing choice. Delivering the right housing choice in the most appropriate locations will be essential to ensuring urban design, precinct

character and infrastructure requirements are met.

Infill development in the right locations

There is a need to prioritise growth within established urban areas and focus on density as opposed to urban sprawl. The benefits of compact urban settlements include greater infrastructure efficiency, vibrancy, proximity to services and revitalisation of underutilised centres. There is a key opportunity to facilitate infill development and a mixture of housing types within the CBD, Westdale, North Tamworth and West Tamworth.

Existing urban release areas

The Tamworth Regional LGA has five (5) urban release areas which are at different stages of residential development and include:

- Hills Plain (Moore Creek)
- Redbank (Calala)
- The Outlook (Calala)
- Carinya School (Calala); and
- Arcadia (Hillvue)

There is future capacity for approximately 3,410 additional lots within these existing urban release areas based on recent development trends and current zoning in each area. It is noted, Redbank is fully developed while Hills Plain, The Outlook and Arcadia will be the primary drivers for new dwellings in the urban release areas. The Carinya School urban release area only has limited capacity if ever acted upon.

Residential investigation areas

The *Regional Plan 2041* and *Blueprint 100: Part 2: LSPS 2020* identify investigation areas for future residential land release. These areas will be subject to structure plans and will require detailed investigation to consider their suitability for residential development and potential yield prior to rezoning. Future residential investigation areas are located at Oxley Vale (Stratheden), Westdale, Kingswood area south of Burgmanns Lane and lands in Kootingal and surrounds. These areas have the theoretical capacity to accommodate new housing to meet expected population growth beyond 2041.

Constraints

There are a range of environmental constraints which can place limitations on future development. Land use patterns, topography, landscape and a diversity of lot sizes offer a variety of residential environments within the Tamworth Regional LGA. New housing types and design will be largely influenced by existing environmental constraints and land uses. The key environmental and land use constraints include:

- Natural hazards (flooding and bushfire);
- Landscape and environmental significance;
- Biodiversity;
- Topography;
- Land use incompatibility;
- Natural and cultural heritage;
- Future Infrastructure; and
- Agricultural and rural lands.

It is Council's view that almost all of the identified constraints are manageable. Some of the constraints are being "managed" by largely avoiding residential development in those locations, and instead finding suitable locations for housing elsewhere. That is indeed the case for agricultural and rural lands, flood prone land, industrial land, and land with biodiversity or other special environmental value. Water security is an issue that has been raised by many people during the consultation process for this strategy. It is also an issue that has been identified in Council's strategic planning documents including *Blueprint 100: Part One* and *Blueprint 100: Part 2: LSPS 2020*.

Engagement

Today's Tamworth region is not just made up of the city and towns with history and character but most importantly is made up with the people who live in them now. By understanding the thoughts and views of communities across the LGA we can better work with our communities to ensure that future planning considers the things that our communities find important.



Community Survey

A community survey was conducted through Council's "Have Your Say" web page between 14 November 2023 and 12 December 2023. 351 people responded with useful insights into their circumstances and useful advice on the current and future housing needs for the community.

An analysis of the Community survey results is included as Appendix 1.

Survey of Real Estate Agents

Real estate agents are at the pointy end of the housing market. Their insights offer an "on the ground" perspective that can help explain many of the trends that we see.

Real estate agents from Tamworth and the District were contacted directly by phone, and an interview was conducted to seek their response to a number of questions.

The findings of the community survey and real estate agent consultation served to reinforce the sentiments expressed in the other workshops, forums and meetings.

Insights from the Community

- The broadest agreement is the need to address housing affordability.
- There is a broad consensus on the need for further development in the Tamworth Region.
- The density and character of neighbourhoods are considered central considerations by over 50% of respondents.
- The issue of water security was frequently raised.
- Social and community housing should be distributed across the city and region.

Insights from Real Estate Agents

- People are looking for affordable housing options in the Tamworth Region.
- The rural centres (Manilla, Nundle and Barraba) have continual interest.
- There is demand for quality inner city living, but car parking issues need to be addressed.
- Price issues tend to drive people's preparedness to be flexible with the type of housing they will purchase.
- Demand for conventional residential lots continues to be in the Tamworth City area, while rural towns and villages all have many vacant lots.
- Social housing needs to be carefully considered.
- Different housing types (e.g., medium density, shop-top housing) are something to consider in the Tamworth City area.
- Minimum lot sizes should be reduced in Tamworth.
- Council needs to facilitate more supply of rural residential land.
- A more streamlined approvals processes is required for housing development – faster turnaround of DAs.

Moving Forward

This housing strategy should be considered a "living document". It will need to be continually monitored and reviewed to ensure that the housing needs of the community are met. Fundamental to this process will be ongoing feedback from the community in relation to what is working and what needs to be updated.

Council is excited to work with residents to ensure the Tamworth region remains a great place to live.



**Have Your Say on future
housing needs in the region**

Priority 1: Provide for sustainable growth that is supported by infrastructure

Priority 1.1: Water security for continued growth

Water security is an issue that has been raised by many people during the consultation process for the RHS. It is also an issue that has been identified in Council's strategic planning documents including *Blueprint 100: Part One* and *Blueprint 100: Part 2: LSPS 2020*.

Australia is the world's driest inhabited continent, and also has the most variable climatic conditions which lead to extended periods of drought. In a good rainfall year, our water reservoirs and groundwater storages are replenished and there is usually plenty of water for all. However, during times of drought, severe deficits occur both in terms of water quantity and also water quality. This causes major issues especially for human wellbeing when water supplies fall below necessary levels.

Water security is also an issue of international concern, and has been defined by United Nations – Water in the following manner:

The capacity of a population to safeguard sustainable access to adequate quantities of acceptable quality water for sustaining livelihoods, human well-being, and socio-economic development, for ensuring protection against water-borne pollution and water-related disasters, and for preserving ecosystems in a climate of peace and political stability.

As the population of the Tamworth Regional LGA grows through time, it will place increasing demands on limited water sources. At the same time, warming of the climate may lead to more evaporation of water from catchments, and consequently less flow into the water supply reservoirs. To sustain an increasing population, it will be essential to achieve a number of outcomes to increase the supply of, and reduce the demand on, water resources.



The *Namoi Regional Water Strategy 2023* provides a number of suggestions for increasing water supply. These include:

- Changes in dam reserves – which could be progressed in the short term while longer term initiatives are being investigated;
- Pipelines west of Tamworth (linked to dams from the Namoi Valley) or east of Tamworth (linked to the Manning catchment);
- Water treatment facilities; and
- Off-river storages.

To support continued housing growth, Council can continue to investigate alternate water supply options from the greater Tamworth area and advocate to both the State and Federal Governments for water security is the region.

At the same time as exploring options to *increase* supply, it is essential to look at options for *reducing demand*. Options to reduce demand include the following:

- Reducing leakage;
- Use of smart metering together;
- Reuse of grey water;
- Water use efficiency (including at the utility level and end user level); and
- Promoting locally available resources not currently being used, such as rainwater harvesting.



Priority 1.2: Reduce barriers to unlock housing supply

A significant amount of undeveloped, residential zoned land is located around the city of Tamworth. The majority of this land is located at Hills Plain, Stratheden and Arcadia with smaller pockets of undeveloped land scattered around the city.

In addition to zoned but undeveloped land, the *Regional Plan 2041* identifies other areas for investigation for housing development; in particular, the Kingswood Area south of Burgmanns Lane as shown in **Figure 19** below.

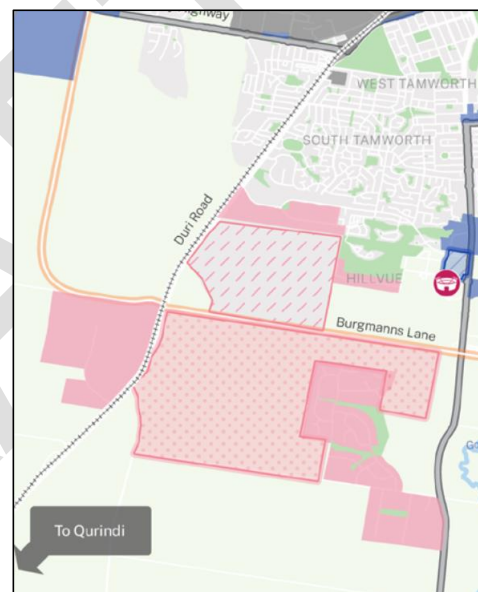


Figure 19: Kingswood Area south of Burgmanns Lane identified within the *Regional Plan 2041* (Source: NSW Department of Planning and Environment, *New England North West Regional Plan 2041*)

The barriers to both developing existing land and/or investigating new housing areas include fragmented land ownership, the need for costly studies over large areas, or challenges in funding the extension and augmentation of essential infrastructure. In some circumstances, further strategic planning work may be required in relation to structure plans for a neighbourhood or a Planning Proposal to amend the *TRLEP 2010*.



Council can take the lead in reducing these barriers at a neighbourhood or catchment level to avoid a piecemeal approach to housing development. This includes seeking grant funding for infrastructure or environmental studies, preparing structure plans and initiating re-zonings. The structure plan process has previously been successfully completed for the Arcadia estate (**Figure 20**).

Council should be proactive and flexible in looking at other areas that may not be specifically identified within a strategy. Locations with few constraints that can capitalise on existing infrastructure should be considered for housing. This includes:

- Investigating land zoned R2 Low Density Residential, which may be suitable for up-zoning to R1 General Residential or reduction in minimum lot size to increase dwelling density and yield; or
- Identifying surplus government land located, in or adjacent, to urban areas, which may no longer be needed for

public purposes and could be developed for housing. Such land may need to re-classified or re-zone.



Figure 20: Extract of Structure Plan for Arcadia estate (Source: Tamworth Regional Council) Development Control Plan 2010, Amendment No. 16)

Priority 1.3: Rural residential development in the Tamworth Hinterlands

Rural residential land is principally zoned R5 Large Lot Residential under the *TRLEP 2010* with a minimum subdivision lot size of 2ha. This land is generally located in the Tamworth hinterlands, notably Hallsville/Moore Creek, Moonbi Hinterland, Tintinhull/Daruka (Figure 21 and Piallamoore / Nundle Road.

Despite the large availability of zoned land, there remains very little subdivision development in the Tamworth hinterlands.

Although a number of site-specific physical constraints prevent subdivision (bush fire, biodiversity, slope, access), the primary obstacle to rural residential subdivision appears to be Tamworth Regional Council's requirement for reticulated town water to be provided to a subdivision. This requirement applies to all subdivisions with limited exemptions. This blanket style requirement for reticulated town water is in response to

concerns with availability of bore water arising from a number of community water schemes and concerns of septic tank contamination of bore water.

Unfortunately, the extension of reticulated town water is not being undertaken by developers as it is cost-prohibitive, in particular the Daruka and Tintinhull areas. This has subsequently stifled new rural residential subdivisions in the R5 Large lot Residential zone.

It is considered that Council's historic blanket approach to provision of reticulated town water to R5 zoned subdivisions is not appropriate and a more-balanced approach should be adopted, whereby reticulated water:

- **Is** required for lots **less than 5ha**
- **Is not** required for lots **5ha or above**, subject to evidence of a sustainable and potable, alternate water supply.

This balanced approach is not new for the region. Tamworth Regional Council already supports 5ha subdivisions without reticulated town water in other rural areas.

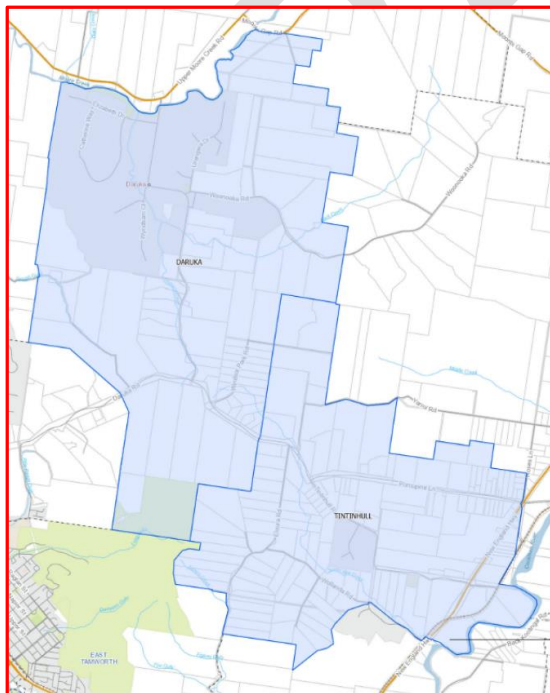


Figure 21: R5 Large Residential zoned land around Daruka and Tintinhull that may be suitable for 5ha subdivision as extension of reticulated town water is impractical (Source: Tamworth Regional Council, MiMaps GIS Data, 2024)

The proposed approach to the R5 Large Lot Residential zone is consistent with Council's standard practice elsewhere.

Furthermore, the 5ha lot size has the following advantages:

- *Blueprint 100: Part 2: LSPS 2020* identifies a demand for, but shortfall in 5ha lots over a 22-year period;
- A 5ha lot is sufficient size to provide opportunities in relation to hobby farming and equine activities;
- A 5ha lot is considered of sufficient size to respond to potential constraints such as biodiversity and bush fire;
- A 5ha lot size effectively reduces the number of potential bores and septic systems by at least 50% compared to a traditional 2ha subdivision; and
- Where a 2ha minimum lot size under the *TRLEP 2010* continues to apply, a 5ha lot has potential for further subdivision in the future should

Council's reticulated water supply be extended.

Where 5ha subdivisions are taken up without any connection to the Council's town water, there would be less demand on Council's reticulated supply which in turn may boost the City's long-term water security.

It is recommended that the first review of the requirement to provide town water should be undertaken for Daruka and Tintinhull (Figure 21) due to the impracticality of supplying town water to these areas. Other areas of R5 Large Residential zoned land could be investigated as part of a future Rural Lands Strategy.

Actions	Links to Priority
1.1 Council continues to work with, and advocate to, the NSW and Commonwealth governments for water security for Tamworth.	1.1
1.2 Identify opportunities for Council to lead actions to unlock potential land supply through: <ul style="list-style-type: none"> • Applying for grants for items such as infrastructure or environmental assessments; • Preparing Structure Plans in conjunction with landholders; and • Council initiated re-zonings. 	1.2
1.3 Review areas zoned R2 Low Density Residential to identify land suitable for up-zoning to R1 General Residential or reduction in minimum lot size.	1.2
1.4 Work with other agencies to identify surplus Council and state government land that may be suitable, in consideration of market implications, for re-classification and/or re-zoning for housing development.	1.2
1.5 Review the requirement to provide reticulated town water to rural residential lots 5 hectares or more in area at Daruka and Tintinhull, where a sustainable and potable alternate water supply is available.	1.1, 1.3

Priority 2: Increasing diversity and choice in housing

Priority 2.1: Promote infill development within existing urban areas

Infill housing is crucial to accommodating the housing needs of the ageing population, young workers, smaller families and lower income groups. It has a number of significant benefits including use of existing infrastructure, increase to the viability of public transport, protection of agricultural land from urban sprawl and economic benefits to local shopping centres with a larger base of customers.

Generally, in-fill housing is described as dual occupancies (e.g., two dwellings on one property), semi-detached dwellings (duplex), multi-dwelling housing (3 or more single storey units) or residential flat buildings (multi-storey unit developments). Where subdivision is proposed, infill housing is also known as integrated housing.

Over recent years, the Tamworth region has experienced growth in-fill housing and further growth is essential to address housing shortages, in particular, affordable accommodation options.



Minimum Lot Size Provisions for Infill Housing

It is often desirable for in-fill housing, such as a duplex, to be able to be subdivided to allow the individual sale of units.

In this regard, the *TRDCP 2010* stipulates a density of 300m² per dwelling/unit for infill development such as dual occupancies and multi-dwelling housing. Clause 4.1A of the *TRLEP 2010* allows the creation of torrens title lots down to 450m² where the subdivision and medium density development form part of a

single development application (integrated housing development). Otherwise, the prescribed minimum lot size applies to any new torrens title lot created.



To subdivide a duplex or multi-dwelling housing development onto the recommended area of 300m², the subdivision must be undertaken as Strata or Community Title.

Compared to a Torrens Title subdivision, Strata or Community Title subdivisions have by-laws and fees associated with a corporation. For smaller integrated housing projects, or projects where there is no common property, such red-tape and costs are unnecessary.

Amending the *TRLEP 2010* to permit Torrens Title subdivision down to 300m² for approved medium and high-density development would add greater flexibility for developers and help promote infill development in existing urban areas. Such provisions would best suit infill development with independent access and services for dwellings/units. Where an infill development relies on shared driveways or utilities, a Strata Title or Community Title subdivision would remain more suitable.

The creation of vacant lots would remain subject to traditional minimum lot size provision.



Review Car-parking Standards for Infill Housing

The provision of multiple car parking spaces can often represent a significant disincentive for in-fill housing development. The requirement to provide both resident and visitor parking spaces can be costly to construct and reduces the amount of developable land for floor space.

Within the Tamworth Regional LGA, the number of car parking spaces required for housing development is specified within the *TRDCP 2010*, with the parking requirements for residential development the same across the city of Tamworth.

It is recommended that Council adopt a place-based approach to car parking requirements. Specifically, precincts should be identified that are in close proximity to commercial centres, transport links, health services, education and public amenities. Such precincts provide opportunities to reduce on-site parking requirements as residents can take advantage of walking, cycling and public transport instead of private vehicle usage.

Two initial precincts recommended for investigation for reduction in residential, parking requirements are West Tamworth, either side of Bridge Street, and North Tamworth around the Tamworth Base Hospital and associated health area.

The West Tamworth precinct recommended for investigation is bound by Gipps Street, Ebsworth Street, the railway line and Mahony Avenue. Bridge Street runs centrally through the precinct. It affords an excellent opportunity for reduced on-site parking requirements as a large range of services and amenities are within walking distance.

The North Tamworth area to be investigated comprises an existing cluster of health, aged care, research, tourism and education facilities. The area is generally bordered by the Base Hospital, Tribe Street, Peel Street and Darling Street.

Additional areas around the city of Tamworth may also be suitable for reduced parking for residential development and ongoing review of the *TRDCP 2010* is recommended.



Priority 2.2: Encourage a diverse range of housing

Housing diversity means a range of housing types, sizes, styles and price points. Diverse housing choice is important to address cost-of-living pressures and assist people transitioning through life stages.

In Tamworth, the current housing supply is dominated by traditional housing with 86.5% of housing being provided by separate dwelling houses.

Given the shortfall in housing needs for the community, there is scope for alternate forms of housing and accommodation to fill this gap. This is in addition to other traditional infill housing supported under Priority 2.1.

Manufactured Homes, Caravans and Other Alternate Housing Options

In recent years, there has been increase in alternate housing such as manufactured homes, caravans, “tiny homes” and modular homes which provide a cost-effective form of housing, particularly for young and ageing family members. Unfortunately, these forms of housing are subject to a complex legal and State planning framework. Both Council and property owners experience frustration determining minimum building standards, approval requirements and utility connections.



In 2023, the NSW Government commenced a phased review of regulations governing this overall type of housing. The outcome of this review remains uncertain, but is of critical importance. Council will continue to advocate to the NSW Government for timely completion of these reforms.

Secondary Dwellings in Rural Areas

Another alternate form of housing that should be **investigated** are secondary dwellings in rural areas. A secondary dwelling, commonly known as a granny flat, is currently prohibited in rural areas. This limits the opportunities for rural property owners to retire on their property.



With the Tamworth region projected to see an increase in older age groups, it is important that older people have the ability to be comfortably housed and retain the option to remain on their property. Permitting secondary dwellings in the RU1 Primary Production and RU4 Primary Production Small Lots zones would enable ageing in place and succession planning on rural properties.

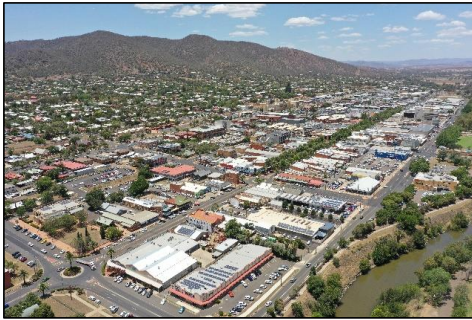
Increased opportunities to retire on farm, may also reduce the competition for aged and affordable accommodation within rural communities and the Tamworth City.

The investigation of secondary dwellings in rural areas will need to consider potential land use conflicts with agricultural activities. It is noted that this land use conflict is largely mitigated with strict controls on the size and location of secondary dwellings, which must be associated with and adjacent to existing dwellings. Despite these controls, there are

likely to be some areas not suitable for secondary dwellings such as land within the upcoming Namoi Regional Jobs Precinct proposed by the NSW Government.

Shop-top Housing

Blueprint 100: Part 2: LSPS 2020 encourages shop-top housing in Peel Street and Bridge Street and apartment living in Kable Avenue.



These areas are currently subject to floor space ratio (FSR) controls under the *TRLEP 2010*. It is recommended that a review of the FSR controls be undertaken to ensure that they are fit-for-purpose and do not unnecessarily restrict the ability to provide shop-top housing.

As part of this review, it is also recommended that Council investigate the floor space ratio limits applied to other local centres (generally zoned E1 Local Centre) around the city. Facilitating small-scale shop-top housing in these locations will provide another accommodation option for residents.



Priority 2.3: Provide sufficient temporary workers accommodation

The Tamworth Regional LGA is partly located within the New England Renewable Energy Zone (**Figure 22**) and is expecting large demand for workers accommodation in relation to renewable energy projects. In addition, the Tamworth regional LGA experiences large influxes of workers associated with agriculture (Namoi Jobs Precinct), meat processing, manufacturing (i.e., livestock industries) and construction.

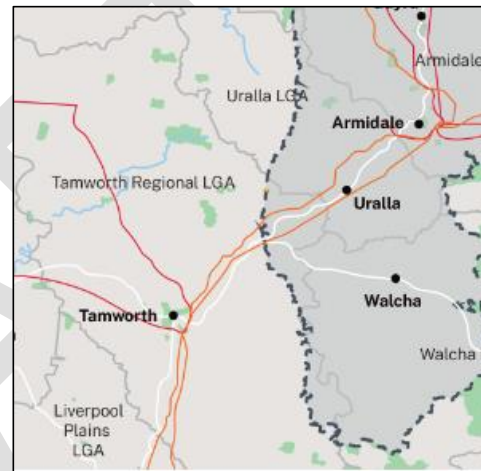


Figure 22: New England Renewable Zone in relation to Tamworth Regional LGA (Source: EnergyCo)

In October 2021, the Regional Housing Taskforce highlighted the need for a standardised planning approach for seasonal and temporary workers' accommodation. In response, the NSW Government prepared a draft Temporary and Seasonal Workers' Accommodation Toolkit, which was on exhibition from 16 August to 27 September, 2023. The feedback from submissions is currently under consideration by DPHI with the final package still to be finalised. In addition to the state-wide package under development by DPHI, Council must also collaborate with DPHI to identify local solutions for temporary workers accommodation with an emphasis on renewable energy, intensive agriculture and agricultural production areas.

Action	Links to Priority
2.1 Amend integrated housing provisions in the <i>TRLEP 2010</i> to enable Torrens Title subdivision of smaller lots for medium-density and high-density development in the R1 General Residential zone.	2.1
2.2 Consider a reduction in parking standards for medium and high-density development within Tamworth in areas with high accessibility to key services and public transport.	2.1
2.3 Advocate to the NSW Government for reforms to diverse housing choices including, but not limited to, manufactured homes, “tiny homes”, moveable dwellings, modular buildings and caravans.	2.1, 2.2
2.4 Review floor space ratio provisions in employment zones to ensure that they are “fit-for-purpose” and do not restrict the provision of shop-top housing.	2.1, 2.2
2.5 Investigate the potential of permitting secondary dwellings in zones RU1 Primary Production and RU4 Primary Production Small Lots, outside of the Namoi Regional Jobs Precinct, to enable additional rural housing and ageing in place.	2.2
2.6 Collaborate with the Department of Planning, Housing and Infrastructure to enable temporary workers accommodation in suitable locations across the LGA, with emphasis on renewable energy, intensive agriculture and agricultural production areas.	2.3

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Priority 3: Improve housing affordability and reduce housing costs

Priority 3.1 Support social and affordable rental housing

Social housing is government subsidised, long term, rental housing for vulnerable people or people on very low incomes with a housing need. Social housing includes public, community and Aboriginal housing.

Affordable rental housing is provided for very low to moderate income households, whereby the amount of rent is reduced so that these households can meet other basic living costs. Providing affordable rental housing is a distinct issue, separate from house prices and building costs. Many developers are not incentivised to build affordable rental housing as they do not provide a very high return on investment, especially in regional areas. With the State Government focused on the delivery of social housing, there is a significant gap in the delivery of affordable housing in the Tamworth region. Community housing providers and Local Aboriginal Land Councils can significantly contribute in the delivery of affordable and social housing to meet the needs of the community. The delivery of market housing by housing providers plays an important role in providing a mix of housing as well as funding for the delivery of affordable and social housing.

The provision of social and affordable rental housing is of critical importance with 1,150 (4.9%) households at the 2021 census in need of affordable housing, of which 168 persons (0.7%) were identified as homeless as shown in ABS data below.



Council should work with other agencies and community housing providers to address the demand for social and affordable rental housing. This includes, but is not limited to:

- Identifying land across Tamworth and other communities that is suitable for social and affordable rental housing;
- Streamlining approvals for affordable rental and social housing, particularly accessible accommodation;
- Working with Local Aboriginal Land Council's and Aboriginal housing providers to ensure the housing needs of the Aboriginal community are addressed. Options for consideration can include memorandum of understandings, Development Delivery Plans and/or other partnerships; and
- Undertaking community engagement to reduce the stigma associated with social housing.

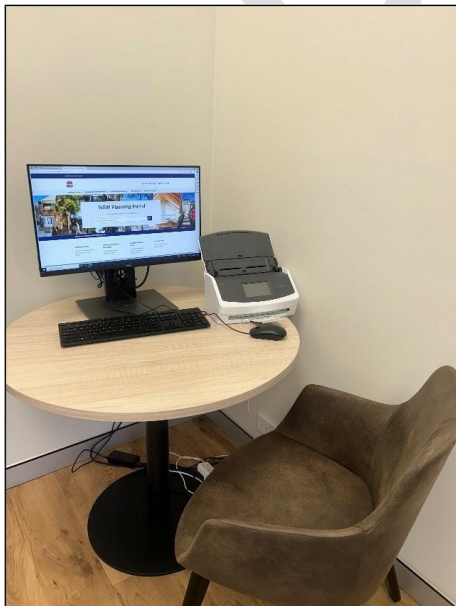
Priority 3.2: Reduce costs associated with the planning system

The NSW planning framework can influence the cost of housing through delays in assessment times and new reforms that increase building costs.

Council is committed to reducing the 'red tape' associated with the development, whilst still ensuring appropriate outcomes are achieved for the community.

One of the biggest changes to the planning system in recent years is the introduction of the NSW Planning Portal. Council staff have undergone training in the use of the system; however, challenges still exist for both Council and the community to effectively incorporate the NSW Planning Portal into the day-to-day assessment process.

Although the NSW Planning Portal is developed by the State Government, Council still has an advocacy role on behalf of the local community to seek continued improvements to the system that will streamline the assessment process and deliver faster determination times.



At the local level, Council reduces assessment times through the implementation of a 'fast track' assessment process for low-impact developments identified within the *TRDCP 2010*. Council should consider a review this process with the aim of broadening the types, and locations, of development where a "fast-track" assessment of a Development Application could apply.

Council will also be pro-active in identifying other enhancements to the NSW Planning System that may improve assessment times and reduce costs. This can include seeking further expansion of fast-track assessments (e.g., exempt and complying development) or reviewing proposed reforms to identify and reduce potential costs for the community.

Priority 3.3 Review Council policies for opportunities to reduce or defer costs

Council has developed a number of engineering standards that guide the design and construction of infrastructure for housing development and subdivisions. The costs associated with the construction of infrastructure can vary significantly depending on the standard of construction.



Council can review its engineering guides and development control plan to identify any opportunities to reduce infrastructure costs. Examples include relaxing instances when footpaths are to be constructed, allow overhead electricity instead of underground, or by removing the requirement to connect certain services, e.g., town water for rural residential blocks – (refer Action 1.5).

Infrastructure such as road upgrades, parks and playgrounds are also funded through Council contributions levied on new development and subdivisions.

These contributions will always play an important role in the growth of the Tamworth region and it is not recommended that Council stop levying contributions. Rather, Council must review its policies to ensure contributions remain fair and equitable.

The review of policies also provides Council an opportunity for creative thinking in relation to infrastructure and contributions. This includes the role of large-scale renewable energy projects, voluntary planning agreements, payment timing, deferred payment agreements and cost-sharing.



Ultimately, it is critical that any decision in relation to infrastructure requirements or contributions does not come at the expense of poor urban design outcomes or shifting the cost of infrastructure onto the ratepayers.

Action	Links to	Priority
3.1 Engage with the NSW Department of Communities and Justice, Local Aboriginal Land Councils, Landcom, NSW Department of Planning, Housing and Infrastructure, and consider opportunities for Council to partner with community housing providers to facilitate the supply of market, affordable and social housing.	3.1	
3.2 Work with Local Aboriginal Land Council's and Aboriginal Housing Providers to ensure housing needs of the Aboriginal community are addressed.	3.1	
3.3 Advocate to the NSW Government for continued improvements to the NSW Planning System that streamline assessments and reduce cost of housing, including reforms to the NSW Planning Portal and complying development approval pathways.	3.2	
3.4 Broaden the types and location of development where a "fast-track" assessment of a Development Application would apply.	3.2	
3.5 Review engineering standards and infrastructure requirements for housing development and subdivisions to potentially improve affordability.	3.3	
3.6 Review contributions plans to ensure levies are fair and equitable.	3.3	
3.7 Investigate opportunities to incentivise housing development through discounts or delayed payments associated with infrastructure costs and/or contributions.	3.3	

Priority 4: Facilitate Liveable Communities

Priority 4.1 Urban design enhances liveability

The term 'liveability' is used to describe the quality and satisfaction of living in an area. Aspects that influence liveability include safety, attractiveness, the environment and sustainability. These contribute to a 'sense of place' as well as a person's overall health and wellbeing.

With the projected growth of the Tamworth region and an increase in infill development, ensuring the 'liveability' of communities is essential. A theme that was reflected throughout the community engagement process.

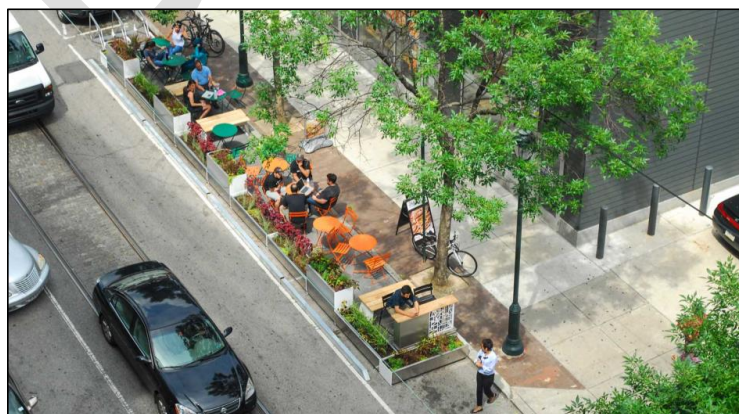
For new developments, liveability could be enhanced through local provisions in a development control plan. Such provisions may include:

- Increased landscaping in developments and new streets;
- Consideration of 'safer-by-design' principles (e.g., lighting, passive surveillance);
- Installation of public art (where practical) into new subdivisions or development; and
- Creation of shared spaces for recreation and local events.



Public land also provides an opportunity to enhance liveability. Roads, footpaths, parks and unused public land could be enhanced through measures such as plantings, street furniture and public art. Larger spaces could be used to bring the community together through temporary events or breakout spaces for workers.

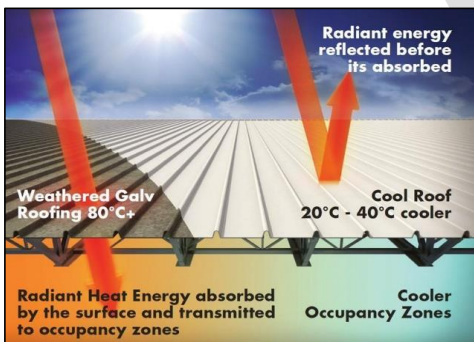
Where practical, local achievements in urban design and sustainability should be showcased throughout the community and local development industry.



Priority 4.2: Sustainable buildings and places

Sustainable buildings and places can directly support housing affordability through the reduction of costs associated with water and energy bills. In addition, sustainable development creates a more resilient community in the face of an uncertain climate.

The conversion of green space to built surfaces is a primary driver of increasing heat in cities. In 2022, Council completed an investigation of urban heat within two precincts of Tamworth city. This strategy identified a number of cooling mechanisms (e.g., building materials, greener areas) to mitigate urban heat islands around Bridge Street and the Tamworth CBD. Adoption and expansion of these mechanisms across the broader city and region could also reduce summer heat in residential areas and reduce the use of air conditioning units.



Similarly, greater use of on-site water capture or installation of secondary water supplies for non-potable uses (garden, toilet), can reduce the amount of town water usage for a household. Reduction in town water usage for households would also contribute to water security for the region.

Priority 4.3: Connected communities

The ability for residents to access and move through their neighbourhood is important, particularly for higher density neighbourhoods.



The built environment can be designed to enable people to come together and use facilities within their local area through the provision of pathways, end of trip facilities for cyclists, and public transport facilities such as bus shelters.

Access and movement through a neighbourhood has a number of positive outcomes including:

- More active and vibrant communities;
- Greater passive surveillance;
- Walking and cycling can improve physical health and wellbeing;
- Increased independence for older people; and
- Promotion of sustainability by reducing traffic and pollution.



Action	Links to Priority
4.1 Investigate DCP standards that contribute to liveable communities such as tree planting, green streets, shared spaces and safer-by-design principles.	4.1
4.2 Explore opportunities to increase public art through the development assessment framework.	4.1
4.3 Review the Tamworth Urban Heat Island Report for cooling recommendations that would benefit urban areas across the Tamworth region.	4.1, 4.2
4.4 Investigate controls for on-site water capture and re-use for all single dwellings and small-scale medium density developments (single storey, no more than four dwellings) and the installation of secondary water supplies for non-potable uses (garden, toilet, etc).	4.1, 4.2
4.5 Review opportunities to provide active transport facilities such as pathways and end of trip facilities for cyclists in centres and employment hubs.	4.3
4.6 Work with the local development industry to trial and showcase locally relevant sustainable home design responses.	4.1, 4.2, 4.3

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Priority 5: Promote rural communities

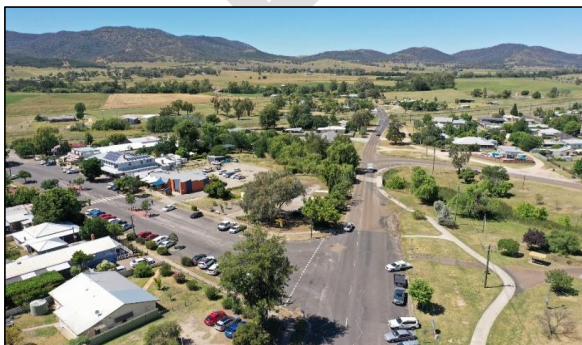
The Tamworth region includes a number of significant rural communities, including Barraba, Kootingal, Manilla, and Nundle. Nemingha, being central between Tamworth City and Kootingal is also a centre of interest.

These communities are important centres for surrounding rural populations providing shops, services and amenities. With changing trends in renewable energy and agricultural production, these communities can take advantage of potential demand for housing and jobs in the region. With good access to the city of Tamworth, rural communities have capacity to provide affordable housing and lifestyle living. Rural centres should also cater for ageing-in-place where people can live in their residence of choice as they grow older with access to support services.

Reviewing planning controls to promote lifestyle living and in-fill housing development for rural communities will promote diverse and affordable housing which are key priorities of this housing strategy.

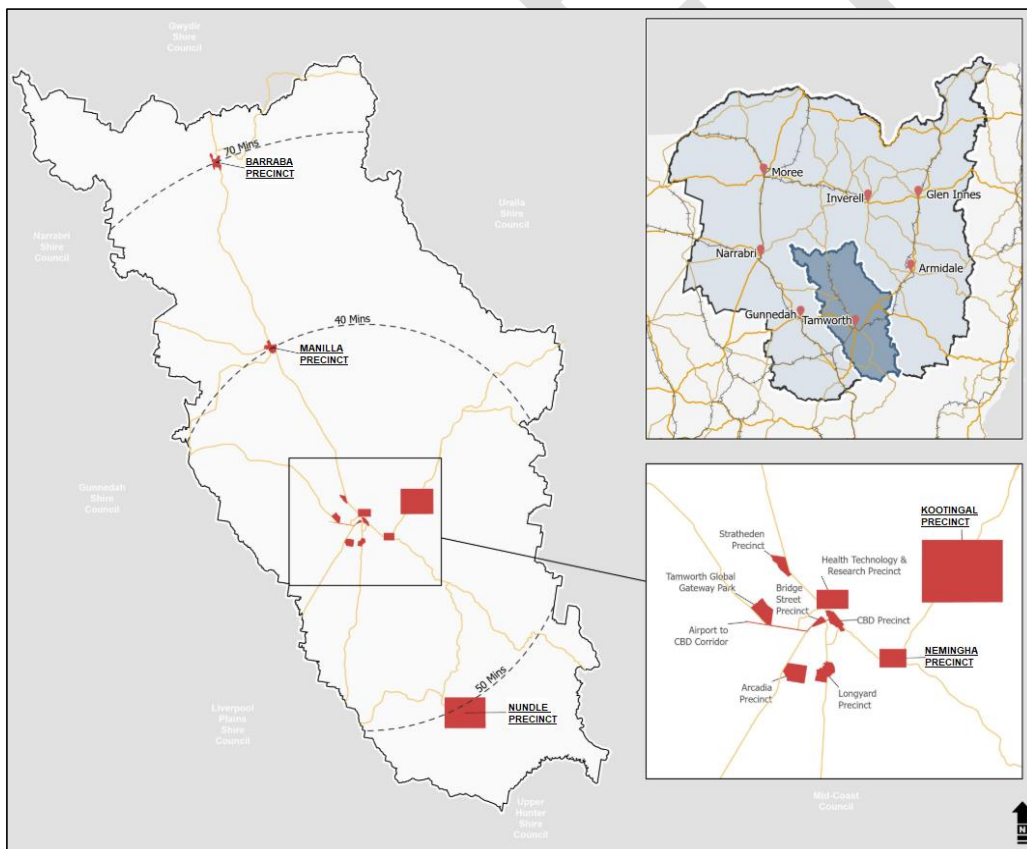
It is also important to distinguish that the characteristics and needs of rural communities differ significantly from the city of Tamworth. Where practical, housing actions for rural communities must be supported by broader precinct planning to identify other commercial, infrastructure and community opportunities that will support housing growth. In this regard, precinct planning has been undertaken and included within the RHS for the communities of Barraba, Kootingal, Manilla, Nemingha and Nundle.

Many other rural villages are located across the Tamworth region, notable among which are; Attunga, Bendemeer, Dungowan, Duri, Hanging Rock, Moonbi, Somerton, Woolbrook and Woolomin. These villages have existing zoned land and experience limited growth. As such, precinct planning has not been undertaken for these villages; however, their role in the community is significant. The Actions within this housing strategy will broadly apply and benefit these villages.



The Actions to Promote Rural Communities are in addition to the Actions already identified under the other priorities of this housing strategy. There are number of actions including, (but not limited to), infrastructure investigation, partnership with other agencies and developer incentives, that will benefit the entire LGA including rural communities.

ACTIONS	
5.1	Review minimum lot sizes provisions applicable to the RU5 Village zone.
5.2	Permit “multi-dwelling housing” and “residential flat buildings” in the RU5 Village zone and adopt car parking standards appropriate to this zone.
5.3	Investigate LEP and/or DCP provisions to promote lifestyle living around rural townships.
5.4	Investigate rural zoned land through the Rural Lands Strategy that may not be suitable for primary production purposes and is well located to town centres, for future investigation for residential development
5.5	Review and implement Precinct Plans for the communities of Barraba, Kootingal, Manilla, Nemingha and Nundle.



(Source: Tamworth Regional Council)

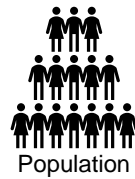
Barraba

Barraba has a proud agricultural and resource development history and continues to be an important part of the wider Tamworth regional community. With a town population of 1,035 (2021 Census), Barraba has a strong rural character and is an important services centre for localities in the north of the Tamworth region.

Barraba has a number of strengths that translate to good opportunities to support housing growth for the future. This includes:

- Available land near town for rural lifestyle blocks, 'boutique' farming and green energy such as solar farms;
- Vacant land suitable for potential new housing;
- Big Sky/Dark Night (low light spill) – Eco-tourism and astronomy tourism;
- Water and sewer infrastructure to support medium density development in the RU5 Village zone;
- Affordable housing with below average rent and mortgage repayments being increasingly attractive for people working from home; and
- Heritage and historical buildings and sites.

Precinct planning has been completed for Barraba that identifies these planning opportunities to promote the community, which in turn will support housing development.



Population

1,035



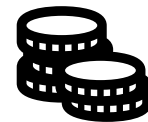
Median Age

60



All Private Dwellings

656



Median Weekly Rent

\$190

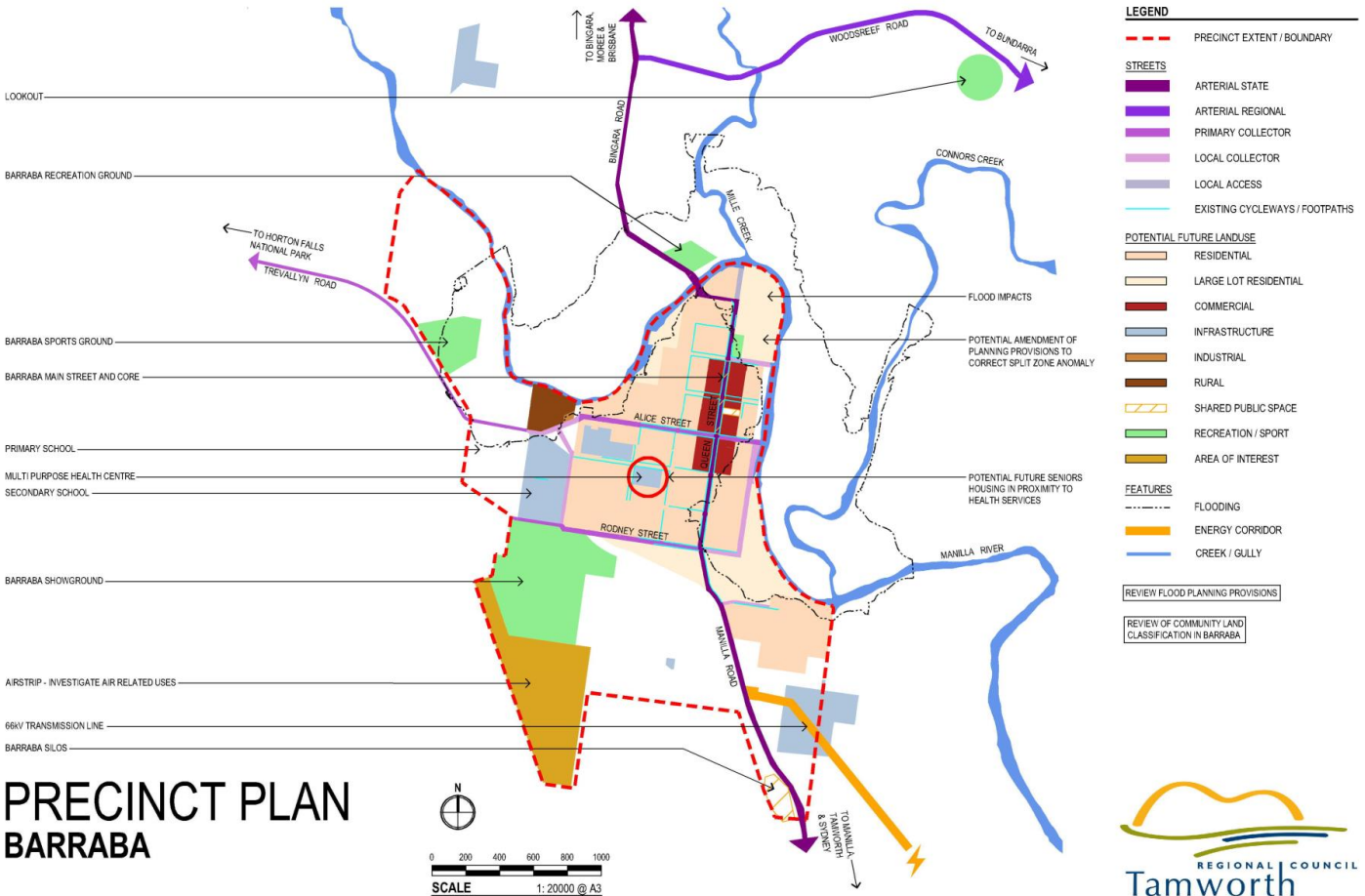


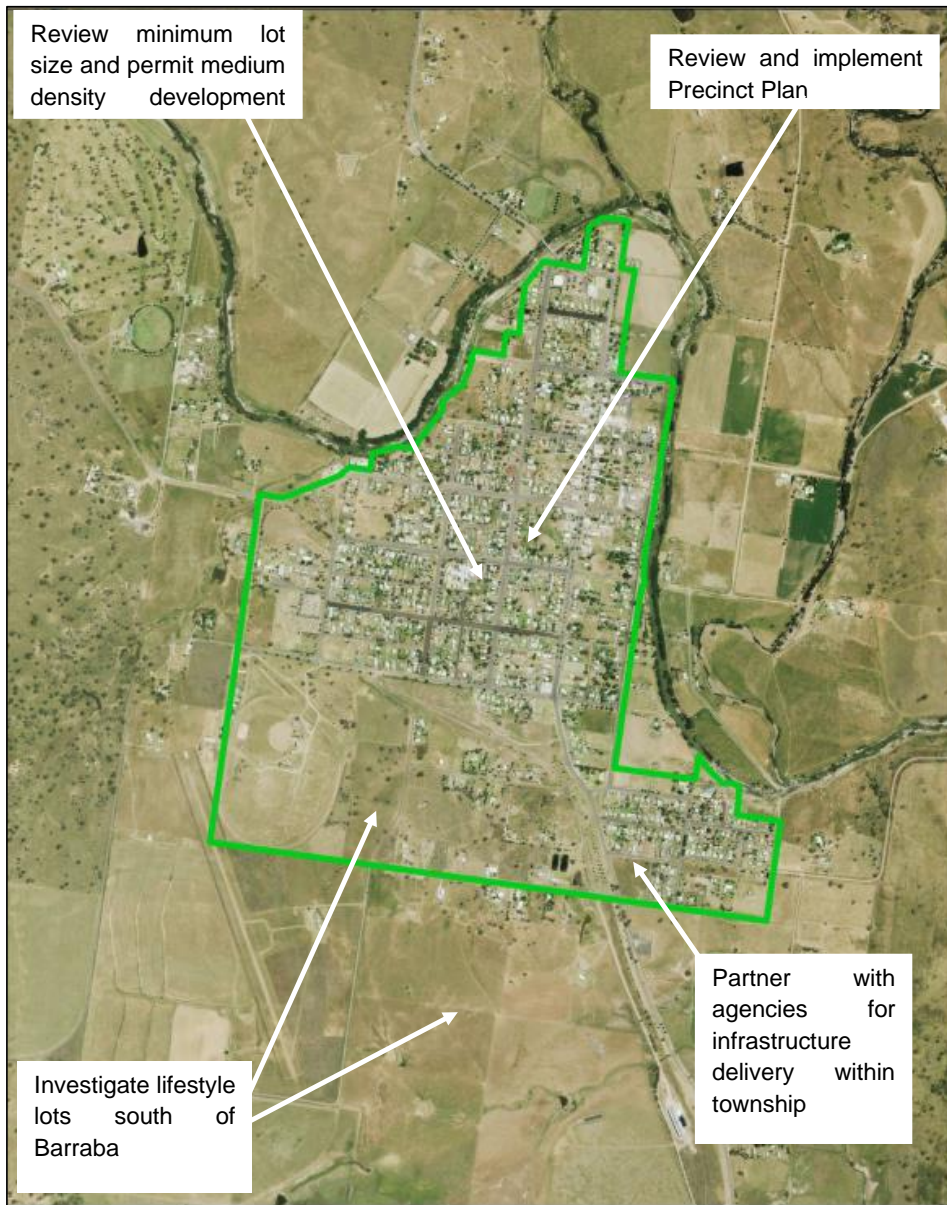
Median Monthly Mortgage

\$659

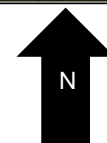
2021 Census QuickStats: Barraba (Urban Centres and Localities), ABS







Barraba
Tamworth Regional Housing
Strategy Actions



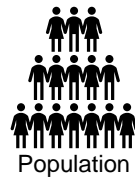
Kootingal

Being conveniently located on the New England Highway approximately 20km north-east of Tamworth, Kootingal has maintained solid population growth with 2,313 people in the locality and 1,862 people living in the township itself (2021 Census). Due to its proximity, Kootingal benefits from the employment, educational and community opportunities in Tamworth City.

Kootingal has a number of strengths that translate to good opportunities for the future:

- R1 General Residential zoning within the township that supports medium-density development
- Available land near town for rural lifestyle blocks, 'boutique' farming, farm stay, eco-tourism and green energy (e.g., solar farms);
- Ready access to Tamworth;
- Affordable housing with below average rent and mortgage repayments; and
- Main North Railway Line.

Kootingal has developed over many years maintaining a distinctive character and resilient community and continues to provide goods and services to the growing population. It is anticipated that by providing additional opportunities for residential development and encouraging more commercial and community focused entrants into Kootingal, service levels will be increased to support housing growth.



1,862



39



785



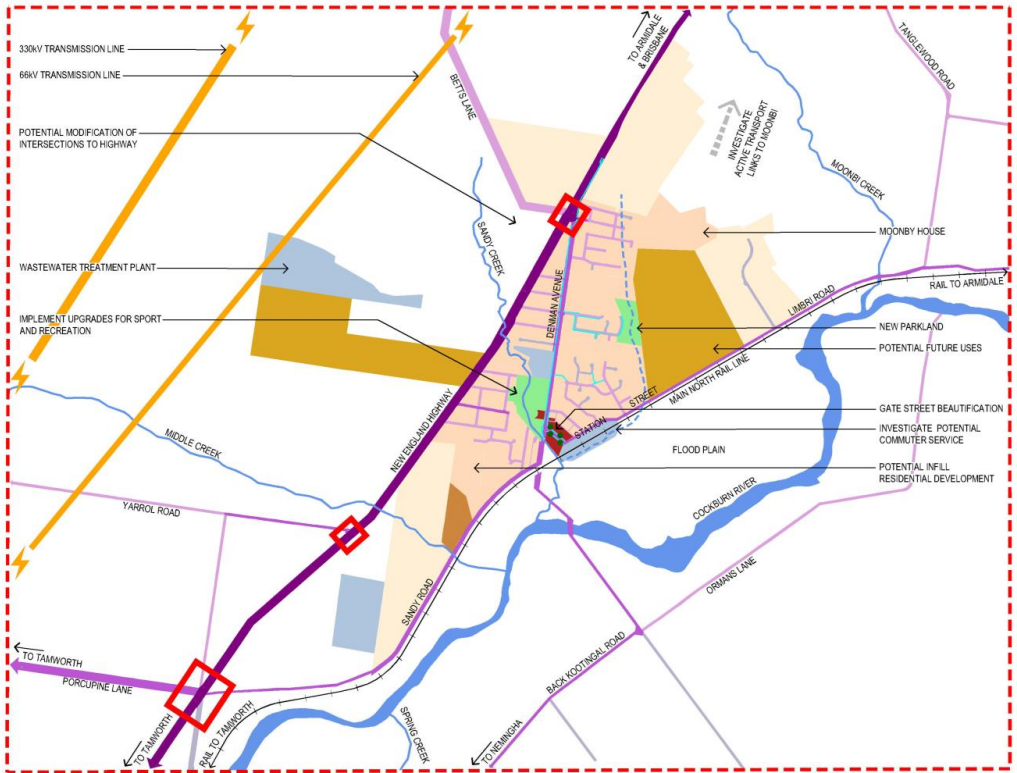
\$310



\$1300

2021 Census QuickStats: Kootingal (Urban Centres and Localities), ABS

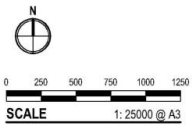


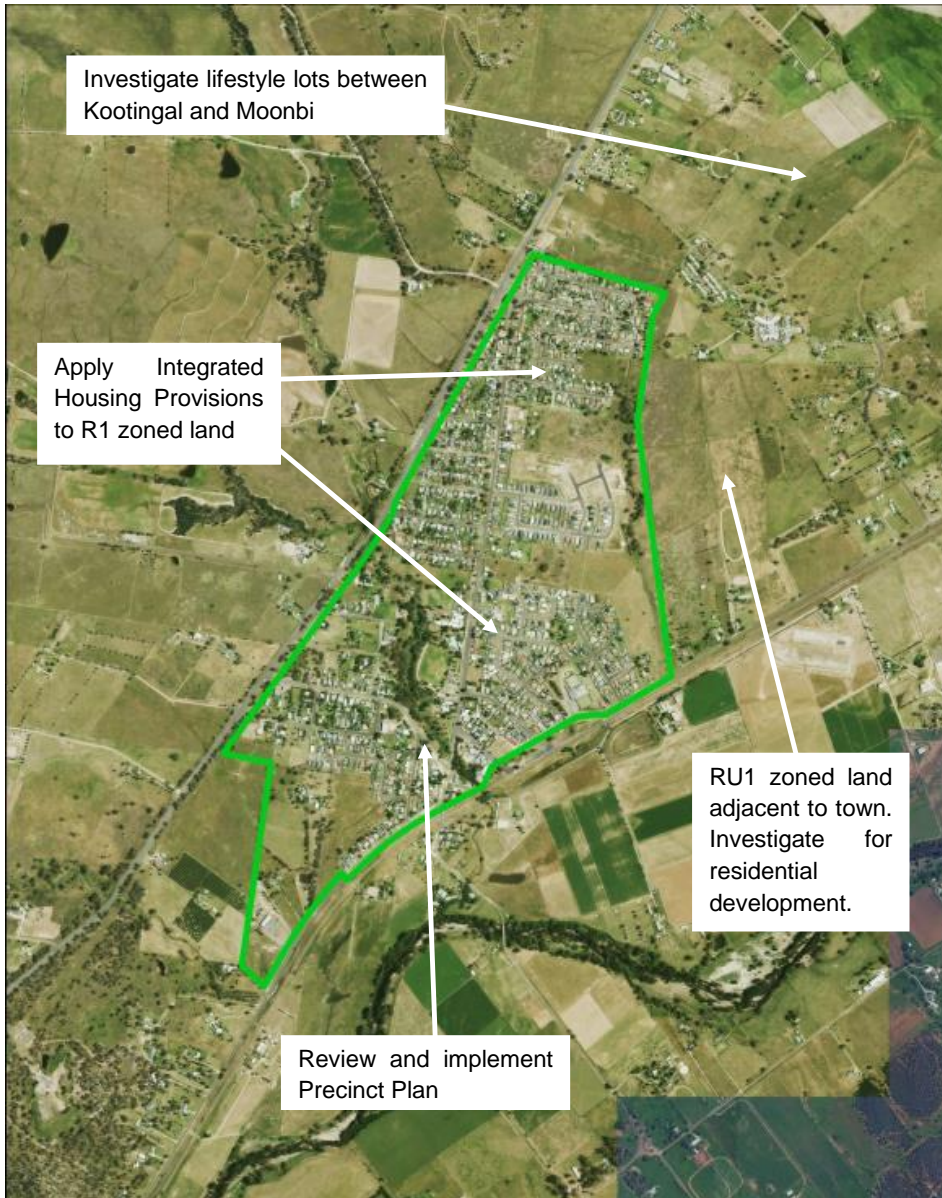


- LEGEND**
- PRECINCT EXTENT / BOUNDARY
 - KEY INTERSECTION
 - STREETS**
 - ARTERIAL STATE
 - PRIMARY COLLECTOR
 - LOCAL COLLECTOR
 - LOCAL ACCESS
 - EXISTING CYCLEWAYS / FOOTPATHS
 - RAIL INFRASTRUCTURE
 - POTENTIAL FUTURE LANDUSE**
 - RESIDENTIAL
 - LARGE LOT RESIDENTIAL
 - INFRASTRUCTURE
 - COMMERCIAL
 - RECREATION / SPORT
 - INDUSTRIAL
 - AREA OF INTEREST
 - STREET BEAUTIFICATION
 - FEATURES**
 - CREEK / GULLY
 - ENERGY CORRIDOR
 - DRAINAGE LINE
 - INVESTIGATE ACTIVE TRANSPORT OPPORTUNITIES THROUGHOUT KOOTINGAL
 - REVIEW FLOOD PLANNING PROVISIONS

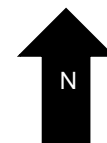


PRECINCT PLAN KOOTINGAL





Kootingal
Tamworth Regional Housing
Strategy Actions



Manilla

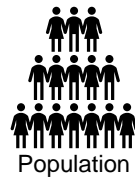
Manilla has maintained a solid population since its settlement fluctuating with the fortunes of primary production. Approximately 2,386 people live in the Manilla locality (2021 Census) with about 2,014 in the town itself. Being located about 35 minutes away by car, Manilla benefits from the employment, educational and community opportunities in Tamworth City.

Manilla is identified in Council's Blueprint 100 documents as one of the main towns in the Tamworth Region where slow growth can be expected. The town is primarily zoned R1 General Residential in recognition of this potential.

Opportunities within Manilla to support housing growth include:

- Available land near town for rural lifestyle blocks, 'boutique' farming, farm stay, eco-tourism and green energy (e.g., solar farms);
- Good water supply from Namoi and Manilla Rivers and the recent investment in water treatment facilities;
- Ongoing investment in the poultry industry offers opportunities for Manilla and the wider region;
- Access to Tamworth to the south and mines to the west (via Rangari Road) will strengthen employment opportunities; and
- Affordable housing with below-average rent and mortgage repayments.

Manilla has developed over many years and remains an important service centre located centrally in the North West of NSW. It is anticipated that by providing additional opportunities for rural lifestyle development and encouraging more commercial and community focused entrants into Manilla, service levels will be increased to support housing growth.



Population

2,014



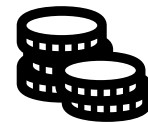
Median Age

48



All Private Dwellings

1,009



Median Weekly Rent

\$260

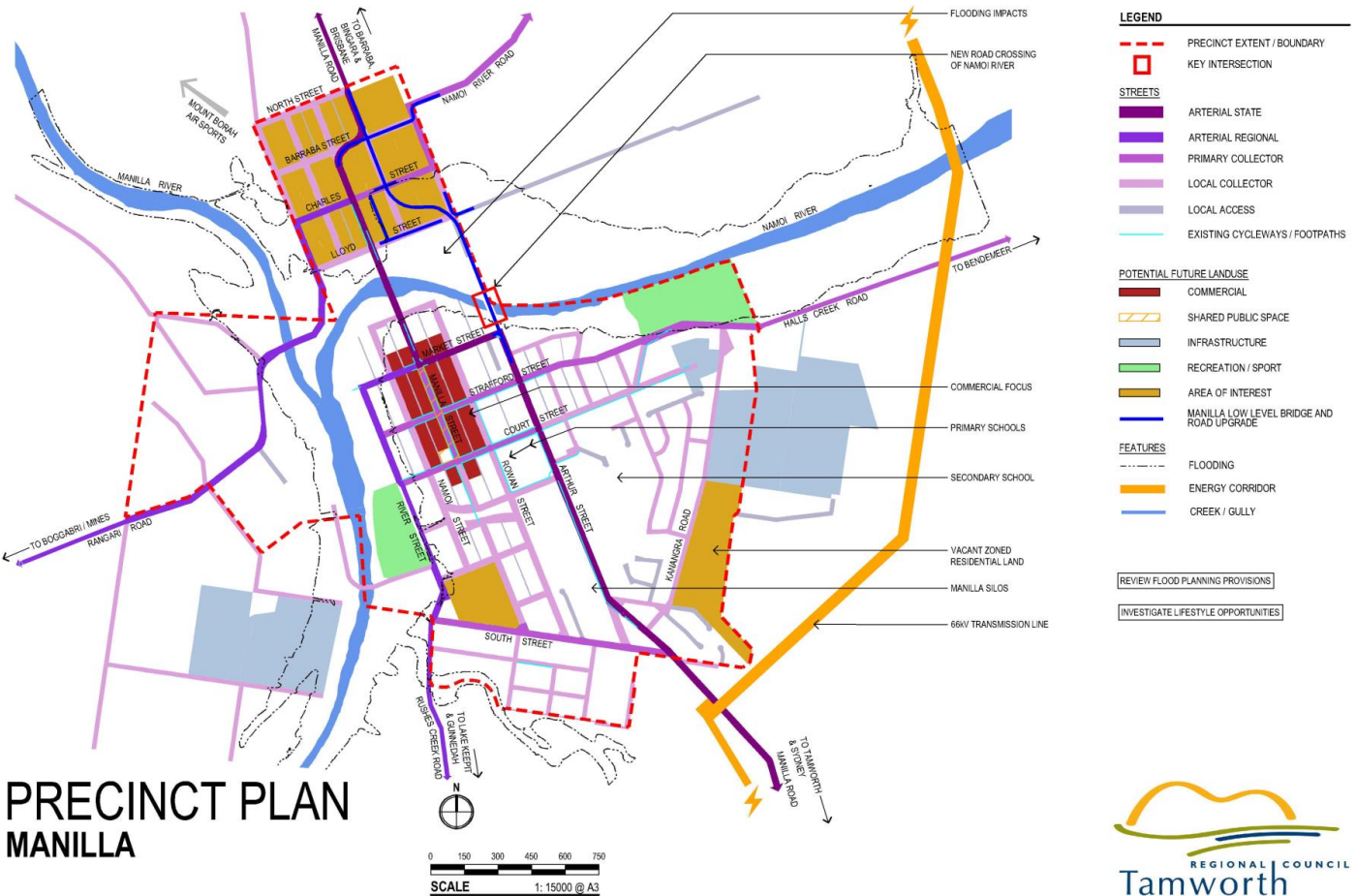


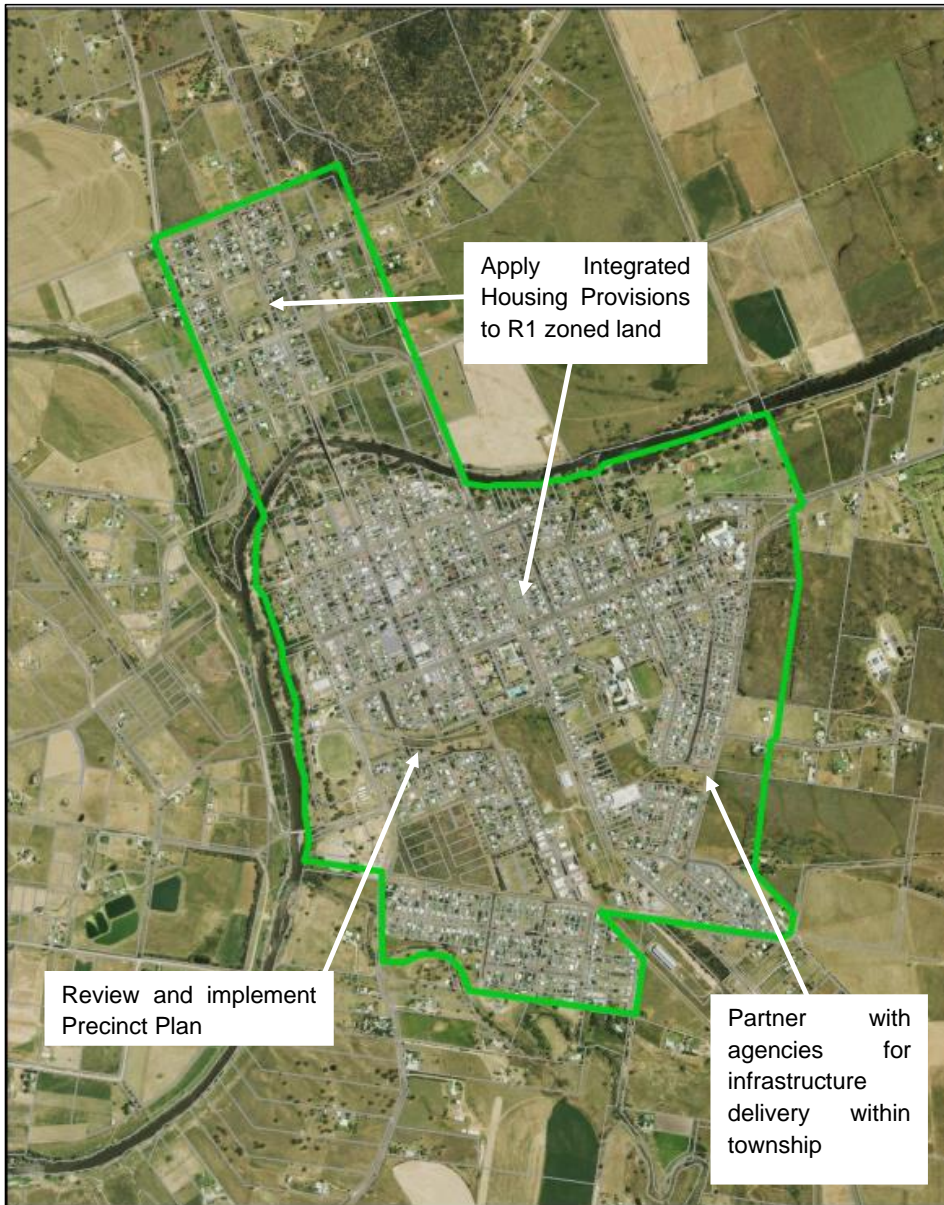
Median Monthly Mortgage

\$1,083

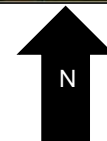
2021 Census QuickStats: Manilla (Urban Centres and Localities), ABS







Manilla
Tamworth Regional Housing
Strategy Actions



Nemingha

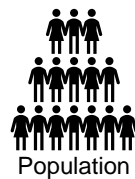
Nemingha is a small centre located on the New England Highway approximately 5km east of the Tamworth CBD. It services a location population of 705 people (2021 Census), with 202 people located within the urban centre.

Nemingha is serviced by a reliable reticulated water supply, being connected to the Tamworth reticulated water network. The town is also fully serviced by reticulated sewer. There are local employment opportunities in a range of businesses from vehicle parts fabrication to rural supplies and hotel/motel operations. Nemingha benefits from being less than 10 minutes to the regional city of Tamworth, which provides access to a wide range of employment opportunities, education, health care and social and sporting activities.

Improved community-focused services in Nemingha would provide local residents and the residents of surrounding localities with additional conveniences, without the need to travel to Tamworth for everyday essentials and medical services.

Key recommendations for Nemingha as a result of precinct planning and the RHS are:

- Investigate urban residential and lifestyle opportunities on the urban limits;
- Investigate potential re-zoning of existing land commercial and industrial land uses to reflect their current use;
- Potential improvements to pedestrian connectivity, safety and amenity; and
- Adopt Integrated Housing provisions to encourage greater medium density development on the R1 General Residential zone.



202



50



105



\$300

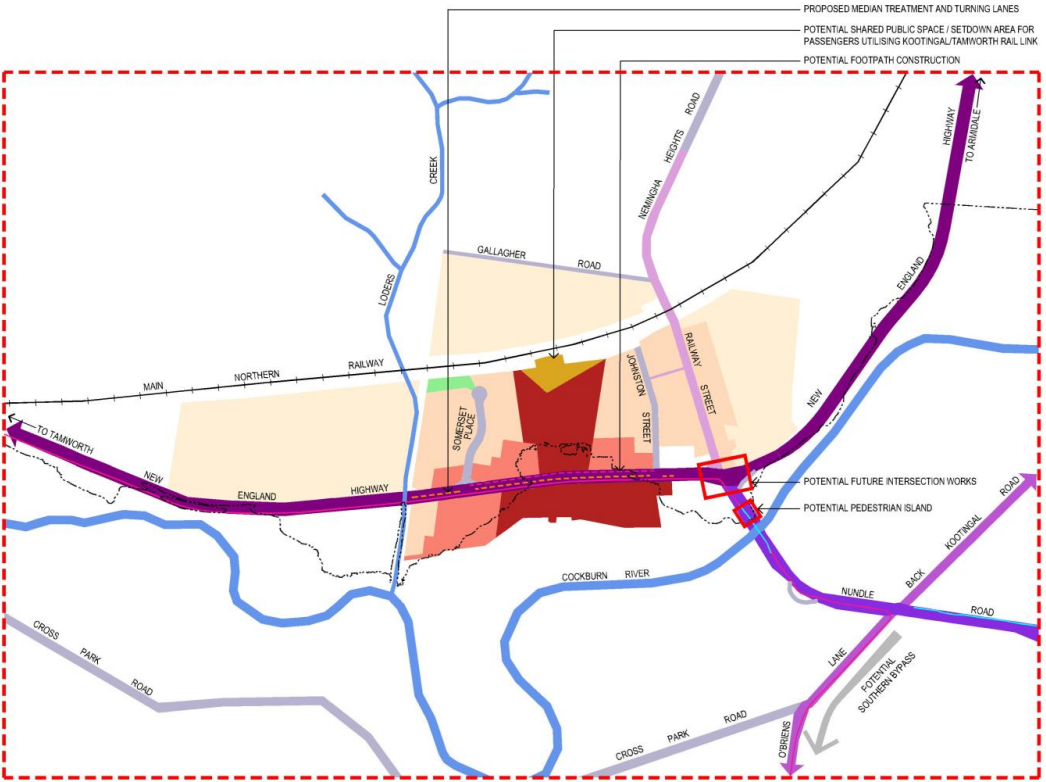


\$1,300

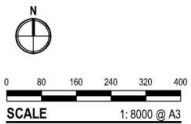
2021 Census QuickStats: Nemingha (Urban Centres and Localities), ABS



- LEGEND**
- - - PRECINCT EXTENT / BOUNDARY
 - KEY INTERSECTION
 - STREETS**
 - ARTERIAL STATE
 - ARTERIAL REGIONAL
 - PRIMARY COLLECTOR
 - LOCAL COLLECTOR
 - LOCAL ACCESS
 - EXISTING CYCLEWAYS / FOOTPATHS
 - FUTURE CYCLEWAYS / FOOTPATHS
 - POTENTIAL CYCLEWAYS / FOOTPATHS
 - RAIL INFRASTRUCTURE
 - POTENTIAL FUTURE LANDUSE**
 - COMMERCIAL
 - MIXED USE
 - RESIDENTIAL
 - LARGE LOT RESIDENTIAL
 - RECREATION / SPORT
 - AREA OF INTEREST
 - FEATURES**
 - FLOODING
 - CREEK / GULLY

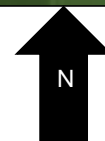


**PRECINCT PLAN
 NEMINGHA**





Nemingha
Tamworth Regional Housing
Strategy Actions



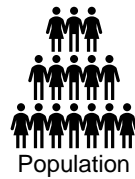
Nundle

Nundle is a vibrant small town nestled at the foot of the picturesque Great Dividing Range at the head of the Peel River. With a local population of 482 people, 314 within the town, Nundle is a unique community with a strong, independent identity.

The tourism industry has developed strongly in recent years due to a well organised events-focused approach and the revitalisation/re-use of historical buildings driven by new and existing residents.

Nundle is zoned RU5 Village and vacant lots suitable for urban residential development are readily available in Nundle. Larger lot residential development opportunities are accessible to the east and south of the town. There is potential to extend the R5 Large Lot Residential zone should future investigations reveal sufficient demand. Rural zoning and minimum lot size provisions are also identified for potential future review as part of a rural lands review.

It is anticipated that by further encouraging tourism and economic development opportunities, Nundle will continue to establish itself as a short-stay destination and a permanent settlement option for people looking for a total lifestyle change or improved work/life balance.



Population

314



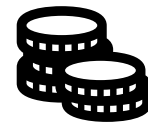
Median Age

56



All Private Dwellings

157



Median Weekly Rent

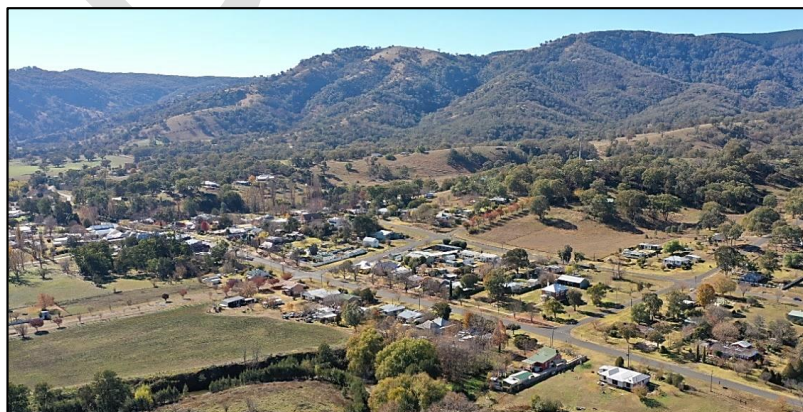
\$200



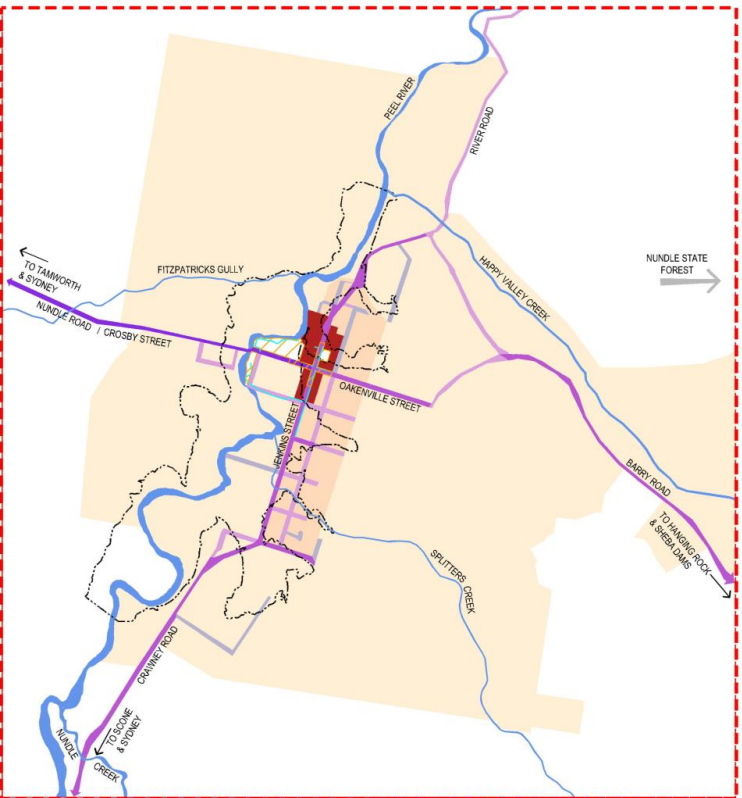
Median Monthly Mortgage

\$1,000

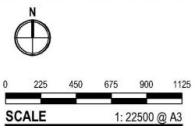
2021 Census QuickStats: Nundle (Urban Centres and Localities), ABS

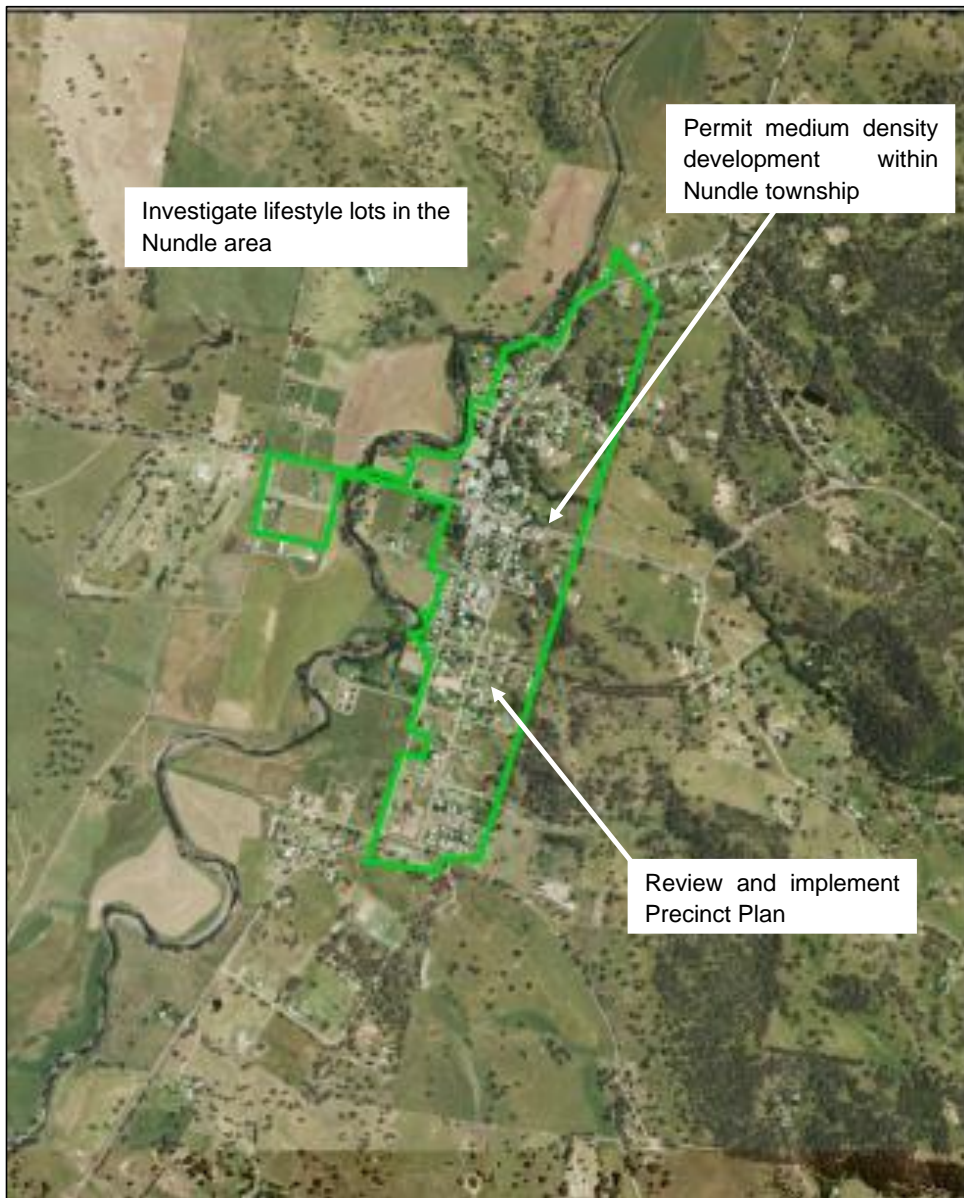


- LEGEND**
- PRECINCT EXTENT / BOUNDARY
 - STREETS**
 - ARTERIAL REGIONAL
 - PRIMARY COLLECTOR
 - LOCAL COLLECTOR
 - LOCAL ACCESS
 - EXISTING CYCLEWAYS / FOOTPATHS
 - POTENTIAL FUTURE LANDUSE**
 - RESIDENTIAL
 - LARGE LOT RESIDENTIAL
 - SHARED PUBLIC SPACE
 - COMMERCIAL
 - FEATURES**
 - FLOODING
 - CREEK / GULLY
- REVIEW FLOOD PLANNING PROVISIONS
- REVIEW ZONE PROVISIONS REGARDING ECO TOURISM
- REVIEW LOT SIZE PROVISIONS FOR SURROUNDING RURAL LANDS

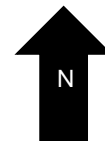


PRECINCT PLAN NUNDLE





Nundle
Tamworth Regional Housing
Strategy Actions



Delivery and Implementation

The priorities and objectives for housing will be implemented through:

Planning - Council will work with the NSW Government towards planning controls that can deliver well located, diverse housing options of quality design.

Educate/Promote – Council will provide information, customer service, community consultation and stakeholder engagement to raise awareness and encourage an ongoing exchange of ideas and involvement in local housing issues.

Leadership - Council will lead by example by supporting innovative and collaborative approaches to the delivery of diverse housing supply in the right locations.

Policy development - Council will address housing issues by developing policies, strategies and action plans that draw on evidence-based research and analysis, best practice and innovative approaches.

Collaborate - Council will work with neighbouring Councils, developers, investors, government departments, agencies, peak bodies, business and community organisations through formal and informal partnerships.

Advocate – Council will advocate for the community needs and interests to the Australian and NSW Government and the private sector.

Monitoring and Reviews

To ensure the stated priorities, objectives and actions of this strategy are being delivered, ongoing monitoring of its implementation and a review process are required. The monitoring of this strategy will involve:

- An annual review of housing demand, delivery and supply against the actions to ensure this strategy and planning controls are responding to the priorities in a timely manner;
- A review every five years is proposed to re-examine the evidence-base, demographic changes, housing needs and housing stock against the broader intent of *Blueprint 100: Part 2: LSPS 2020*; and
- A 10-year review of this strategy will ensure that the 20-year vision, the evidenced-based assessments and planning contexts align with the actions, community views and actions of the *Regional Plan 2041*.

Tamworth Regional Housing Strategy – Actions Table

Tamworth Regional Council recognises that the responsibility for taking action to address housing issues rests with a wide range of stakeholders including; Government Agencies, the development industry, finance sector, not-for-profit organisations and the wider community. The following table identifies those sections of Council with particular responsibilities.

Timeframe for action	Short term	Medium term	Long term
	0 – 5 years	5 – 10 years	10+ years

Priority 1: Provide for sustainable growth that is supported by infrastructure

Actions	Links to Priority	Responsibility	Timeframe
1.1 Council continues to work with, and advocate to, the NSW and Commonwealth governments for water security for Tamworth.	1.1	OGM Councilors	Short term Ongoing
1.2 Identify opportunities for Council to lead actions to unlock potential land supply through: <ul style="list-style-type: none"> Applying for grants for items such as infrastructure or environmental assessments; Preparing Structure Plans in conjunction with landholders; and Council initiated re-zonings. 	1.2	OGM All Directorates Future Communities Division	Short and medium term Ongoing
1.3 Review areas zoned R2 Low Density Residential to identify land suitable for up-zoning to R1 General Residential or reduction in minimum lot size.	1.2	Future Communities Division	Medium term
1.4 Work with other agencies to identify surplus Council and state government land that may be suitable, in consideration of market implications, for re-classification and/or re-zoning for housing development.	1.2	OGM All Directorates Future Communities Division	Medium team
1.5 Review the requirement to provide reticulated town water to rural residential lots 5 hectares or more in area at Daruka and Tintinhull , where a sustainable and potable alternate water supply is available.	1.1, 1.3	Development Division	Short term

Priority 2: Increasing diversity and choice in housing

Action	Links to Priority	Responsibility	Timeframe
2.1 Amend integrated housing provisions in the <i>TRLEP 2010</i> to enable Torrens Title subdivision of smaller lots for medium-density and high-density development in the R1 General Residential zone.	2.1	Future Communities Division	Short term
2.2 Consider a reduction in parking standards for medium and high-density development within Tamworth in areas with high accessibility to key services and public transport.	2.1	Development Division	Short term
2.3 Advocate to the NSW Government for reforms to diverse housing choices including, but not limited to, manufactured homes, “tiny homes”, moveable dwellings, modular buildings and caravans.	2.1, 2.2	OGM Liveable Communities Directorate	Short term ongoing
2.4 Review floor space ratio provisions in employment zones to ensure that they are “fit-for-purpose” and do not restrict the provision of shop-top housing.	2.1, 2.2	Future Communities Development Division	Short/medium term
2.5 Investigate the potential of permitting secondary dwellings in zones RU1 Primary Production and RU4 Primary Production Small Lots, outside of the Namoi Regional Jobs Precinct , to enable additional rural housing and ageing in place.	2.2	Future Communities Division	Short/medium term
2.6 Collaborate with the Department of Planning, Housing and Infrastructure to enable temporary workers accommodation in suitable locations across the LGA, with emphasis on renewable energy, intensive agriculture and agricultural production areas.	2.3	OGM Liveable Communities Directorate	Short/medium term

Priority 3: Improve housing affordability and reduce housing costs

Action	Links to Priority	Responsibility	Timeframe
3.1 Engage with the NSW Department of Communities and Justice, Local Aboriginal Land Councils, Landcom, NSW Department of Planning, Housing and Infrastructure, and consider opportunities for Council to partner with community housing providers to facilitate the supply of market , affordable and social housing.	3.1	OGM	Short term Ongoing
3.2 Work with Local Aboriginal Land Council's and Aboriginal Housing Providers to ensure housing needs of the Aboriginal community are addressed.	3.1	OGM	Short term Ongoing
3.3 Advocate to the NSW Government for continued improvements to the NSW Planning System that streamline assessments and reduce cost of housing, including reforms to the NSW Planning Portal and complying development approval pathways.	3.2	OGM Councilors Development Division	Short term Ongoing
3.4 Broaden the types and location of development where a "fast-track" assessment of a Development Application would apply.	3.2	Development Division	Short/medium term
3.5 Review engineering standards and infrastructure requirements for housing development and subdivisions to potentially improve affordability.	3.3	Development Engineering Division	Medium term
3.6 Review contributions plans to ensure levies are fair and equitable.	3.3	Future Communities Division	Short term
3.7 Investigate opportunities to incentivise housing development through discounts or delayed payments associated with infrastructure costs and/or contributions.	3.3	Development Future Communities Division	Medium term

Priority 4: Facilitating liveability

Action	Links to Priority	Responsibility	Timeframe
4.1 Investigate DCP standards that contribute to liveable communities such as; green streets, tree planting, shared spaces, and safer by design principles.	4.1	Development Division	Medium term
4.2 Explore opportunities to increase public art through the development assessment framework.	4.1	Development Division Creative Communities & Experiences Division	Short term
4.3 Review the Tamworth Urban Heat Island Report for cooling recommendations that would benefit urban areas across the wider Tamworth region.	4.1, 4.2	Future Communities Division	Medium term
4.4 Investigate controls for on-site water capture and re-use for all single dwellings and small-scale medium density developments (single storey, no more than four dwellings) and the installation of secondary water supplies for non-potable uses (garden, toilet, etc).	4.1, 4.2	Development Division Development Engineering Division	Medium term
4.5 Review opportunities to provide active transport facilities such as pathways and end or trip facilities for cyclists in centres and employment hubs.	4.3	Regional Services Directorate	Short/Medium term
4.6 Work with the local development industry to trial and showcase locally relevant sustainable home design responses.	4.1, 4.2, 4.3	Development Division Development Engineering Division	Medium/long term

Priority 5: Promote rural communities

ACTIONS	Responsibility	Timeframe
5.1 Review minimum lot sizes provisions applicable to the RU5 Village zone.	Future Communities Division	Short/medium term
5.2 Permit “multi-dwelling housing” and “residential flat buildings” in the RU5 Village zone and adopt car parking standards appropriate to this zone.	Future Communities Division Development Division	Short/medium term
5.3 Investigate LEP and/or DCP provisions to promote lifestyle living around rural townships.	Future Communities Division Development Division	Short/medium term
5.4 Investigate rural zoned land through the Rural Lands Strategy that may not be suitable for primary production purposes and is well located to town centres, for future investigation for residential development	Future Communities Division	Medium term
5.5 Review and implement Precinct Plans for the communities of Barraba, Kootingal, Manilla, Nemingha and Nundle.	Future Communities Division (Strategic Planning and Place Management Teams)	Medium term

APPENDIX 1

Tamworth Regional Housing Strategy

Community Survey Statistics and Analysis

Analysis of Responses

Also see Community Survey Report further below

1. Do you live in the Tamworth Area?

The overwhelming majority of respondents currently reside in the Tamworth region, with only 2 declaring to have previously lived in the region. Of these, 222 reside in Tamworth City (including Tamworth, North Tamworth, East Tamworth, Calala, South Tamworth, Hillvue, West Tamworth, Coledale, Westdale, Oxley Vale), 65 in rural or semi-rural areas within 10km of the city, 51 in one of the other towns and villages within the Council area, and 14 on other rural land within the Council area, giving a broadly, but not exclusively, urban and suburban perspective to the results.

2. In which suburb, village or locality do you live?

Responses revealed a varied makeup of suburbs and localities represented in the survey. Many respondents, 89, reside in North, East, South or West Tamworth or the CBD, with significant segments in Hillvue (43) and Calala (34), while a disproportionately large number of respondents are resident in Manilla (26), compared, for example, with Kootingal (11).

3. What sort of dwelling do you live in?

A clear majority of respondents listed their dwelling as a single house on its own block of land (307), with 22 listing a house with two dwellings on a block of land, 11 in a unit in a multi-unit development, and the remainder evenly split between other options.

4. What type of tenure do you have?

On the matter of tenure, most respondents own with mortgage (167), slightly less than a third own outright (107), and a little over a fifth are renting (64), with the next largest segment cohabiting with family (5), and occupying social housing/emergency accommodation (3).

5. Which of the following do you think are important issues for the Tamworth Regional Council to consider when it comes to housing?

The question of priorities for Tamworth Regional Council to consider as regards housing yielded interesting responses, with many respondents listing multiple factors and offering alternative ideas in the 'Other' section.

Of the listed categories, the affordability of housing was considered a priority by almost 70% of respondents (241), while a majority of 59% considered, or also considered, the density of neighbourhoods to be a central concern (207), followed by 54% the character of neighbourhoods (191). Of the concerns selected by fewer than 50% of respondents, notable segments are recorded for Homelessness at 48% (167), the design of new housing at 38% (133) and seniors housing at 35% (124). Leaving aside 'None of the above', the availability of temporary worker's accommodation, on the other hand, emerges as the category of least concern among respondents, attracting 17% of respondents (61).

Draft Tamworth Regional Housing Strategy

Of the user-proposed answers to the question, a wide variety of different issues were selected. Those listed multiple times by different respondents include greater public services (10), encouraging a greater distribution of new housing around Tamworth generally and/or encouraging new building on rural land (5), and Security/Crime (3).

6. In what neighbourhood-type do you live in?

Would you like to provide any comments about where you live and/or your choice above?

What are the three main things that you like about the neighbourhood where you live?

38% of respondents reside in an area built in the second half of the 20th century (134), followed by 25% in a post 2000 subdivision (88), 15% in an older area, 12% on a rural residential lot, and 9% on a rural property, while 2 responded 'None of the above'.

User comments generally revolved around three major themes. Firstly, that the cost of housing in Tamworth, especially rentals, is increasingly prohibitive. Secondly, that crime is a major concern for residents. Thirdly, a significant number of respondents located beyond the urban area emphasised the quiet, country lifestyle as the primary reason for either choosing the area, or else being the greatest feature of living in that area. Residents similarly expressed a desire to see the character of East Tamworth preserved, while concerned that the expansion of housing had outstripped, or is about to outstrip, the capacity of local infrastructure.

Similarly, in response to the question of the three main things liked about the area, the most commonly valued qualities were 'Quiet', 'Open space', 'Safe' and 'Community', as well as 'Convenience'. Residents of Manilla in particular valued the strength and manageable size of the local community. Aesthetics featured frequently, especially in praise for the architecture and urban design of East Tamworth.

7. Does your current residence suit your needs?

If not, what limitations have you encountered? (i.e. affordability, availability, school zoning etc).

The vast majority of respondents (83%) were satisfied that their current residence suits their needs. Of the 17% who responded in the negative, by far the most commonly cited limitation was 'affordability' and connected issues, such as the need for a larger home in light of an expanding family. The quality of infrastructure and school zoning also feature multiple times.

8. Do you think more dwellings should be constructed within Tamworth City, or elsewhere in the Council area so that more people can live here?

67% of respondents answered positively that more dwellings should be constructed within Tamworth City or elsewhere in the Council area (241). The comments of those who answered 'No' (56) almost unanimously expressed concern at the ability of existing infrastructure to cope, and the current situation of congested living in the city.

If yes, where do you think these new dwellings should be built?

Of those who answered 'Yes', responses were fairly evenly split between the listed options, with many respondents choosing multiple options (**Note: The multiple options are reflected in the % calculations, which will not total 100%**).

42% agreed with 'Allowing for the development of more rural residential type of developments close to Tamworth' (149), 42% with 'Subdivide new areas of land on the outskirts of Tamworth' (148), 39% with 'On vacant allotments in the existing areas' (136), 36% with 'Redevelopment in or near the Tamworth CBD area' (126), 34% with 'By conversion of brownfield sites' (118), 29% with 'In areas of town with old houses following demolition of an existing old house' (102)

Draft Tamworth Regional Housing Strategy

and 29% with 'As additional dwellings on existing larger blocks through the construction of duplexes and/or secondary dwellings' (101).

User comments again identified concern at infrastructure to support such new dwellings, and at the loss of either attractive or productive land in the process.

9. What sort of dwellings do you think would be best to build?

Similarly, responses were divided on the kind of dwellings that would be best to build. Of the 349 respondents to this question, the only answer to garner a majority was 'Single dwelling on its own', while 47% answered 'Adding a second smaller dwelling' or 'Apartment buildings' (164 each), 38% 'Large lot residential development' (134) or 'Medium density style developments' (131), 33% 'Rural residential' (116) and 21% 'Hobby Farms' (74). Among the comments provided to this question, recurring themes were concerns that new dwellings would be too small, lack diversity in appeal to different potential buyers/tenants, or again outstrip infrastructure capacity. One respondent pointed out the absence of retirement village style development in the listed categories, given the ageing population.

10. What do you see as the main benefits of the development types you identified?

The principal benefits of the development types identified by respondents generally fall into the following categories - suitability of development to the context of Tamworth, discouraging overpopulation, tackling the affordability crisis, encouraging more 'family-friendly' neighbourhoods in the city, sustainability and accessibility.

11. What do you see as the three most threatening things about future development?

In identifying three threats, water security was listed first by a significant number of respondents and is evidently a major concern across the Tamworth Region.

Recurring themes for the most threatening things about future development frequently highlighted overpopulation, inadequate infrastructure, development which negatively impacts quality of life, unplanned and uncontrolled urban sprawl, and the loss of green areas.

12. How comfortable would you be with having more community / social housing in your neighbourhood?

On the possible construction of more community/social housing in the neighbourhood, enthusiasm fluctuated wildly even with the same locality. While there was far from unanimous consensus, generally speaking this enthusiasm was weakest in East Tamworth, moderate to strong in South Tamworth, Oxley Vale, Kootingal and Manilla, and quite evenly split in Calala and Hillvue.

If you are not extremely comfortable about these types of housing, what measures (if any) could be taken to make you more comfortable?

In terms of alleviating resident concerns at the construction of such housing, respondents expressed a common wish that security issues be taken into consideration by the Council, with many urging that such housing not be densely concentrated and that it be distributed across a far larger area. Otherwise, many respondents requested that such areas be well-lit, with ample coverage of security cameras along with a more robust police presence.

13. What is your age?

The respondents to the survey exhibited a largely typical spread across adult age groups:

- Under 18: 0
- 18-24: 5% (16)
- 25-34: 18% (62)
- 35-44: 24% (83)
- 45-54: 20% (69)
- 55-64: 19% (67)
- 65 and over: 15% (54)

14. Gender - Are you?

Unlike with the age groups, the gender split was skewed towards Male - 63% of respondents, compared to 30% female and 7% declaring no gender.

15. What best describes your household type?

Many respondents, 43%, listed their household type as 'Family with children' (151), while a further 31% listing 'Couple without children' (108), 15% 'Single person' (51) and 3% 'Share house' (11). Of those who responded 'Other', the most common type was a variant of 'Single parent', at 3% (11).

16. What best describes your main activity?

The majority of respondents, 57%, described their main activity as 'Employee' (201), with the next most common being the 17% who marked 'Business owner/operators' (58), 15% 'Retired' (54), 5% 'Not in paid workforce or study', and 1% 'Student'. Of the 17 respondents who described their main activity under 'Other', a plurality listed 'Carer'. A caveat to bear in mind with this data is that since 95% of all respondents were aged 25 and over, the total of students listed is almost certainly unrepresentative of the true demographics of Tamworth.

My TRC Online Community

Report Type: Project

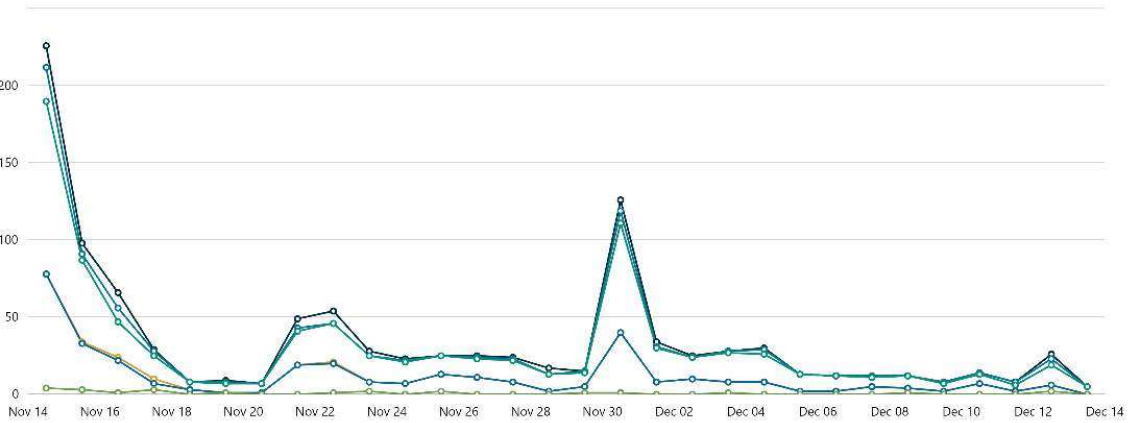
Project Name: Have Your Say on future housing needs in the region

Date Range: 14-11-2023 - 13-12-2023

Exported: 13-12-2023 13:16:00

Performance Summary

Information regarding key visitation and utilisation metrics for your Site or projects.



1,056
Views

984
Visits

862
Visitors

349
Contributions

332
Contributors

23
Followers

Views - The number of times a Visitor views any page on a Site.

Visits - The number of end-user sessions associated with a single Visitor.

Visitors - The number of unique public or end-users to a Site. A Visitor is only counted once, even if they visit a Site several times in one day.

Contributions - The total number of responses or feedback collected through the participation tools.

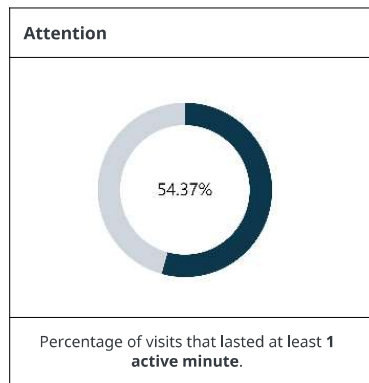
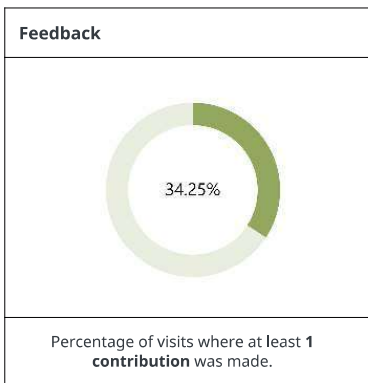
Contributors - The unique number of Visitors who have left feedback or Contributions on a Site through the participation tools.

Followers - The number of Visitors who have 'subscribed' to a project using the 'Follow' button.

Note: Two surveys were completed outside the exhibition period. The total contributions received was 351.


Conversions


Information regarding how well your engagement websites converted Visitors to perform defined key actions.



Participation

Information regarding how people have participated in your projects and activities.

Contributions by Activity			
Contributions by Activity is a breakdown of contributions across each tool			
Activity	Contributions		%
 Form	349	<div style="width: 100%; height: 10px; background-color: #004a7c;"></div>	100%

Top Activities			
Top Activities is the top 5 tools that received the highest contributions			
Activity	Page Name	Contributions	Contributors
 Form	Have Your Say on future housing needs in the region	349	332

Projects

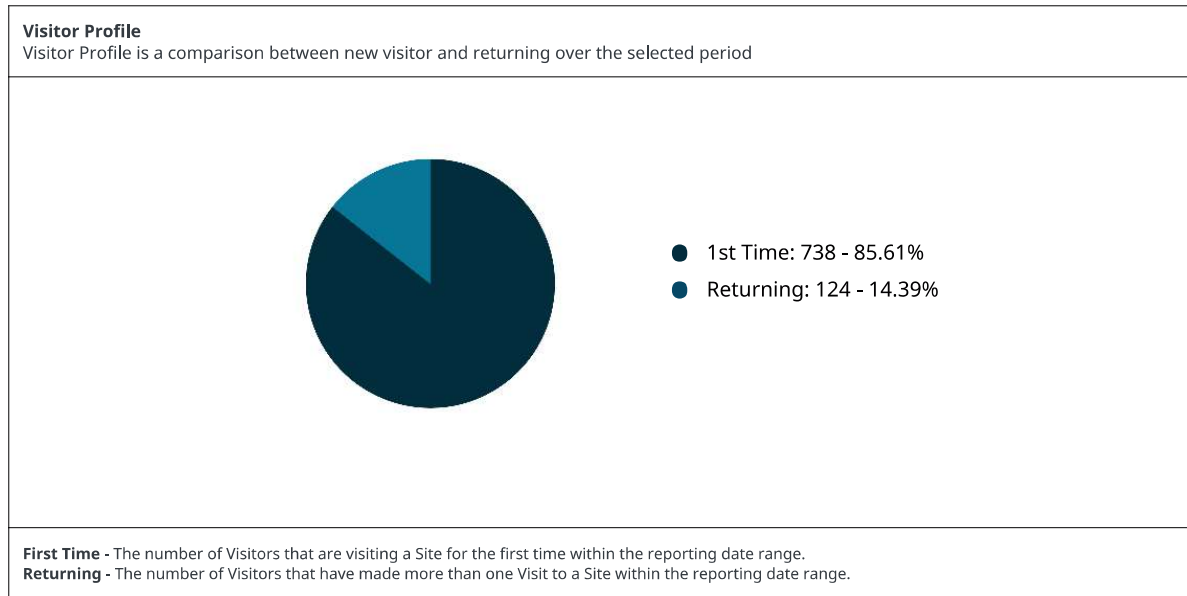
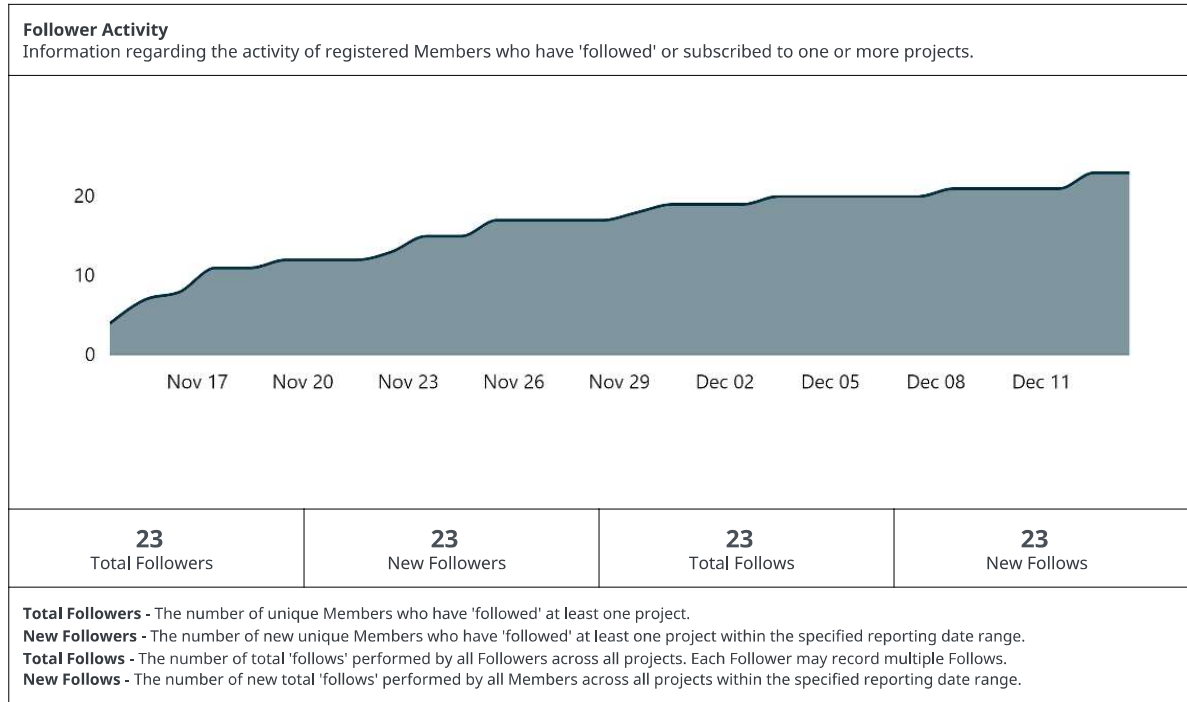
The current number and status of your Site's projects (e.g. engagement websites)

Engagement Time		Top Visited Pages			
Summary information for the top five most visited Pages.					
Page Name	Visitation %	Visits	Visitors		
Have Your Say on future housing needs in the region	100%	979	858		

3 Days	15 Hours	57 Minutes
Nov 14th 2023 Peak Visitation Date	Tuesday Peak Visitation Day	

People

Information regarding who has participated in your projects and activities.



Acquisition

Information regarding the method by which Visitors arrived to your Site or projects.

Referral Types

Referral traffic is the segment of traffic that arrives on your website through another source, like through a link on another domain.



Direct - Visitors who have arrived at a Site by entering the exact web address or URL of the page.

Search Engine - Visitors who have arrived at a Site via a search engine. Such as Google, Yahoo, etc.

Websites - Visitors who have arrived at the Site after clicking a link located on an external website.

Social Media - Visitors who have arrived at a Site by clicking a link from a known social media site such as Facebook, X, LinkedIn, etc.

Campaigns - Visitors who have arrived through a campaign (using a UTM). See your email campaign report for more details on campaigns sent from this platform.

Downloads




Information regarding your downloads, the total set of unique documents downloaded, total downloads of all files, and your top downloads.

 1 Total Documents	 1 Total Downloads
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Top Downloads		
Top file downloads in your selection, ordered by the number of downloads.		
File Title	File Type	Downloads
Houses.jpg	JPG	1

Email Campaigns

Information regarding your email campaigns, your total campaigns, the total number of recipients, and your top campaigns by click-through rate (clicks as a percentage of total recipients).

 1 Email Campaigns Sent	 672 Total Recipients	 18.01% Click-through Rate
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Top Campaigns			
Top email campaigns that have activity in your selection, ordered by click-through rate (clicks as a percentage of total recipients).			
Campaign Name	Recipients	Clicks	Click-through Rate
Have Your Say on future housing needs in the region	672	121	18.01%



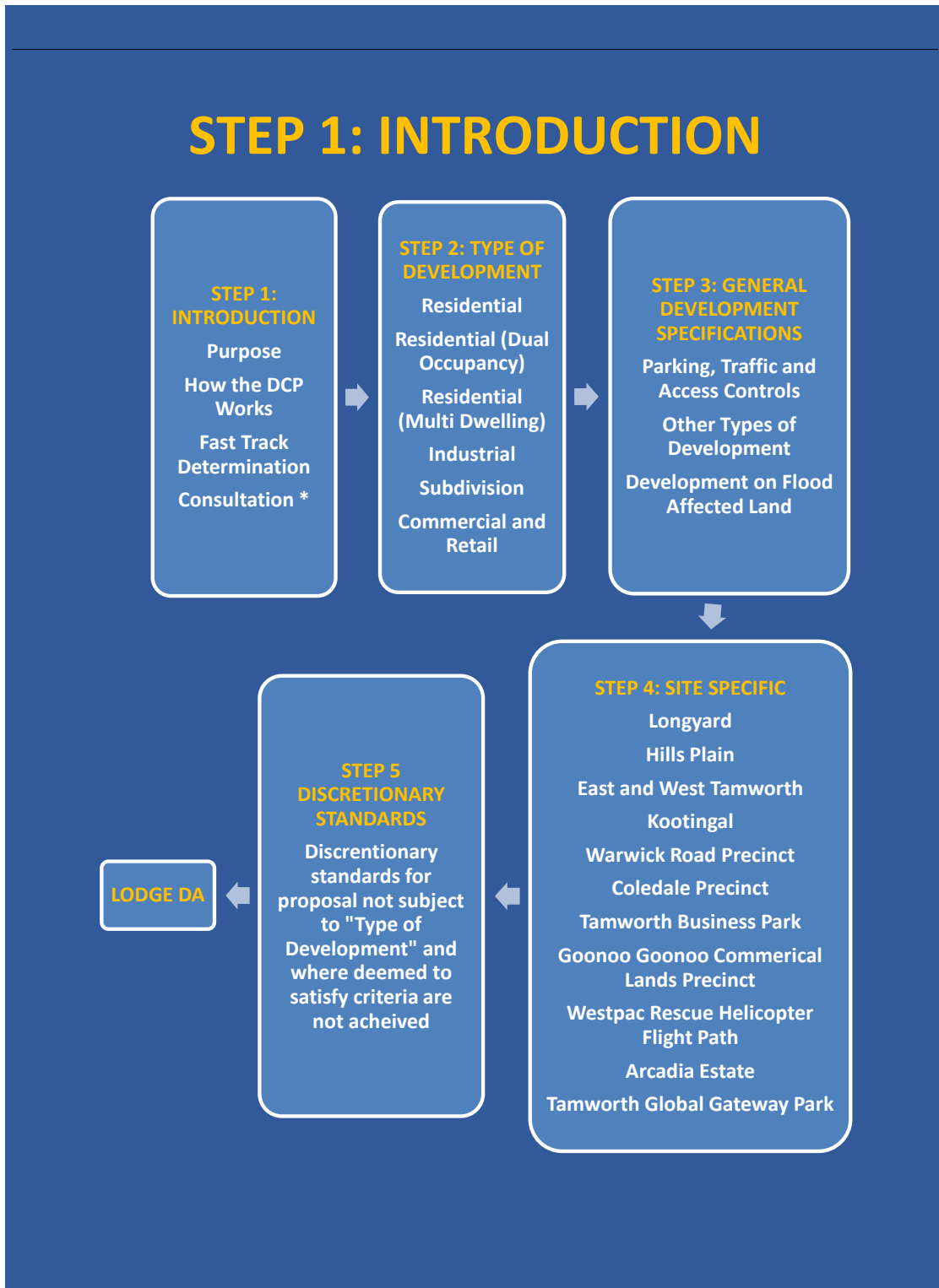
**TAMWORTH REGIONAL
DEVELOPMENT CONTROL PLAN
2010**

Amendment No. 17

Adopted 12 October 2010

Effective from Commencement of Tamworth Regional Local Environmental Plan 2010

CONTENTS	PAGE NUMBER
STEP 1: INTRODUCTION	3
STEP 2 : TYPE OF DEVELOPMENT	8
General Housing and Ancillary Structures Development Controls	9
Residential (Dual Occupancy) Development Controls	15
Residential (Multi-Dwelling) Development Controls	19
Industrial Development Controls	23
Subdivision Controls	26
Commercial and Retail Development Controls	33
STEP 3 : GENERAL DEVELOPMENT SPECIFICATIONS	36
Parking, Traffic and Access Controls (Parking Requirements Schedule)	38
Other Types of Development (Signage, Farm Stay Accommodation, Small-scale Renewables, Urban Heat)	55
Development on Flood Affected Land	57
STEP 4 : SITE SPECIFIC REQUIREMENTS	60
Longyard Business Precinct	61
Hills Plain	63
East Tamworth and West Tamworth	67
Kootingal	71
Warwick Road Precinct	73
Coledale Precinct	74
Tamworth Business Park	76
Goonoo Goonoo Commercial Land Precinct	79
Westpac Rescue Helicopter Flight Path	81
Arcadia Estate	82
Tamworth Global Gateway Park	104
STEP 5 : DISCRETIONARY DEVELOPMENT STANDARDS	115



*Consultation guidelines are now located in the Tamworth Regional Community Participation Plan

INTRODUCTION

1.1 Purpose of the Plan

This Plan contains more detailed guidelines for development to complement the provisions contained in the Tamworth Regional Local Environmental Plan 2010 which applies to all land within Tamworth Regional Local Government Area (LGA).

1.2 Aim of the Plan

The aims of this Plan are to:

- Define development standards that deliver the outcomes desired by the community and Council;
- Provide clear and concise development guidelines and desired future character statement for various forms of development and site specific precincts;
- Encourage innovation in design and development by not over-specifying development controls;
- Expedite development approvals by providing clear direction on Council's intent and criteria;
- Provide certainty of development outcomes for developers and the community; and
- Protect and mitigate impact on environmental values of land, air, water, noise, scenic visual amenity, flora and fauna (ecological and biodiversity).

1.3 How the plan works

This development control plan (DCP) provides the key criteria for specific types of development that commonly occur in the Tamworth Regional Local Government Area. Development controls are also provided for specific locations within the region. Development controls are broken into four separate components – **STEP 2: Type of Development**, **STEP 3: General Development Specifications**, **STEP 4: Site Specific Requirements** and **STEP 5: Discretionary Development Standards**.

Under section 4.15 of the *Environmental Planning and Assessment Act 1979* (EP&A Act), Council is required to consider a range of issues in the evaluation of a development application including the DCP. Therefore compliance with this DCP does not guarantee development approval will be issued.

However, in relation to the nominated types of development, Council has adopted 'non-discretionary' development controls that establish a 'deemed to satisfy' standard of development. Where this standard is achieved, Council **WILL NOT**:

- (a) further consider those standards in determining the development application, or
- (b) give weight to objections received relating to those standards, or
- (c) refuse the application on the ground that the development does not comply with those standards, or
- (d) impose a condition of consent that has the same, or substantially the same, effect as those standards but is more onerous than those standards.

Where the standard is not achieved, the application cannot be 'fast tracked', and the application must provide justification in line with the **Discretionary Development Standards**.

In the absence of specific controls in the DCP for a development type, **Step 3: General Development Specifications** identifies matters that are relevant to all forms of development and will be considered as part of Council's merit-based assessment, applying best practice planning standards.

1.4 Fast Track Determinations

This plan identifies 'non-discretionary' development standards that reflect achievement of the underlying objectives of the DCP for specific types of development. Where a proponent certifies that the minimum standards are met, determination should be issued within 10 days.

The Fast Track '**deemed to satisfy**' process is a simpler, faster approval pathway. Still merit-based, the process streamlines the assessment of common forms of development that can be clearly quantified as achieving the outcomes sought by the community, the development industry and Council.

The following types of development may be 'fast tracked' where the proponent certifies that the development complies with the minimum DCP controls:

- ✓ **Residential (General Housing) including ancillary structures such as pools and car ports**
- ✓ **Residential (Dual Occupancy)**
- ✓ **Industrial (General and Light)**
- ✓ **Commercial and Retail**

Fast track determination does not apply to:

- × applications where consultation is required or a variation to a development control requested
- × subdivisions
- × unspecified forms of development
- × flood affected land
- × heritage items identified in the local environmental plan
- × East Tamworth and West Tamworth precincts
- × bushfire prone land
- × proposals that are integrated or designated
- × heavy industrial uses
- × development that impacts on Biodiversity
- × any application determination by senior staff to not be fast appropriate fast track
- × traffic generating development identified in schedule 3 of *State Environmental Planning Policy (Transport and Infrastructure) 2021*
- × referral to any State of Commonwealth external agency

Applicants who seek their development applications to be fast tracked will need include a signed certification checklist that confirms that all the 'deemed to satisfy' development standards have been met. Council will accept applications prepared by suitably qualified persons (such as planners, architects, engineer, draftsman and surveyors). Where plans are subsequently found to not meet a development standard, the application will be removed from the fast track stream.

1.5 Don't meet the 'deemed to satisfy' standards?

If your proposal does not meet the 'deemed to satisfy' standards, your application must provide justification in response to **STEP 5: Discretionary Development Standards**. Applications that do not meet the 'deemed to satisfy' criteria will not be processed under the 'fast track' stream.

1.6 Relationship to other plans

This DCP is only one of the matters that must be considered by Council in determining a development application.

The proposal must also be considered with regard to the other matters contained in Section 4.15 of the *Environmental Planning & Assessment Act 1979*, including relevant environmental planning instruments, the likely environmental effects, suitability of the site, any submissions received and the public interest.

Further, other State or Commonwealth legislative requirements may apply, depending on the location and characteristics of the site.

1.7 Developer Contributions

As a consequence of development it is likely that an increase in the demand for public amenities and services (such as cycleways, community facilities, local open space etc) will occur. In this regard, a contribution under Section 7.11/7.12 of the *Environmental Planning and Assessment Act 1979*, may be required as a condition of the development consent in accordance with Tamworth's Contributions Plan.

Council requires developers to contribute towards the augmentation of water, sewerage and stormwater works to meet the additional demands of the new development. In this regard, approval must be sought from Council under the *Water Management Act 2000* (water, sewer) and *Local Government Act 1993* (stormwater) to determine the required contributions.

Rates are reviewed annually in the management plan and can be viewed on Council's website.

1.8 Currency of Guidelines

The Guidelines will be reviewed as required. To ensure you are using the most current version, you may either contact Council by phone or check the web-site. This will also alert you to any amendments on exhibition.

Amendment No. 1 - Adopted 14 June 2010	Amendment No. 10 - Adopted 25 October 2016
Amendment No. 2 - Adopted 13 December 2011	Amendment No. 11 - Adopted 22 August 2017
Amendment No. 3 - Adopted 14 August 2012	Amendment No. 12 - Adopted 10 October 2017
Amendment No. 4 - Adopted 11 June 2013	Amendment No. 13 - Adopted 26 November 2019
Amendment No. 5 - Adopted 10 December 2013	Amendment No. 14 - Adopted 13 October 2020
Amendment No. 6 - Adopted 14 October 2014	Amendment No. 15 - Adopted 26 October 2021
Amendment Nos. 7 and 8 – Adopted 14 April 2015	Amendment No. 16 - Adopted 11 October 2022
Amendment No. 9 - Adopted 13 October 2015	Amendment No. 17 – For Adoption 23 July 2024

1.9 Mail Delivery Times

The mail delivery times nominated by Australia Post for the Tamworth Area are taken into account when notification of a development application is undertaken. From the date of adoption of Amendment No. 10, Council allows a period of 7 days for delivery of written correspondence.

2.0 Desired Future Character Statements

Desired Future Character Statements will be prepared for each new or updated site specific area in Step 4 of this DCP.

Each statement is designed to provide objectives for the future development of a site specific area and to emphasise the important existing features or qualities of an area that should be maintained or enhanced.

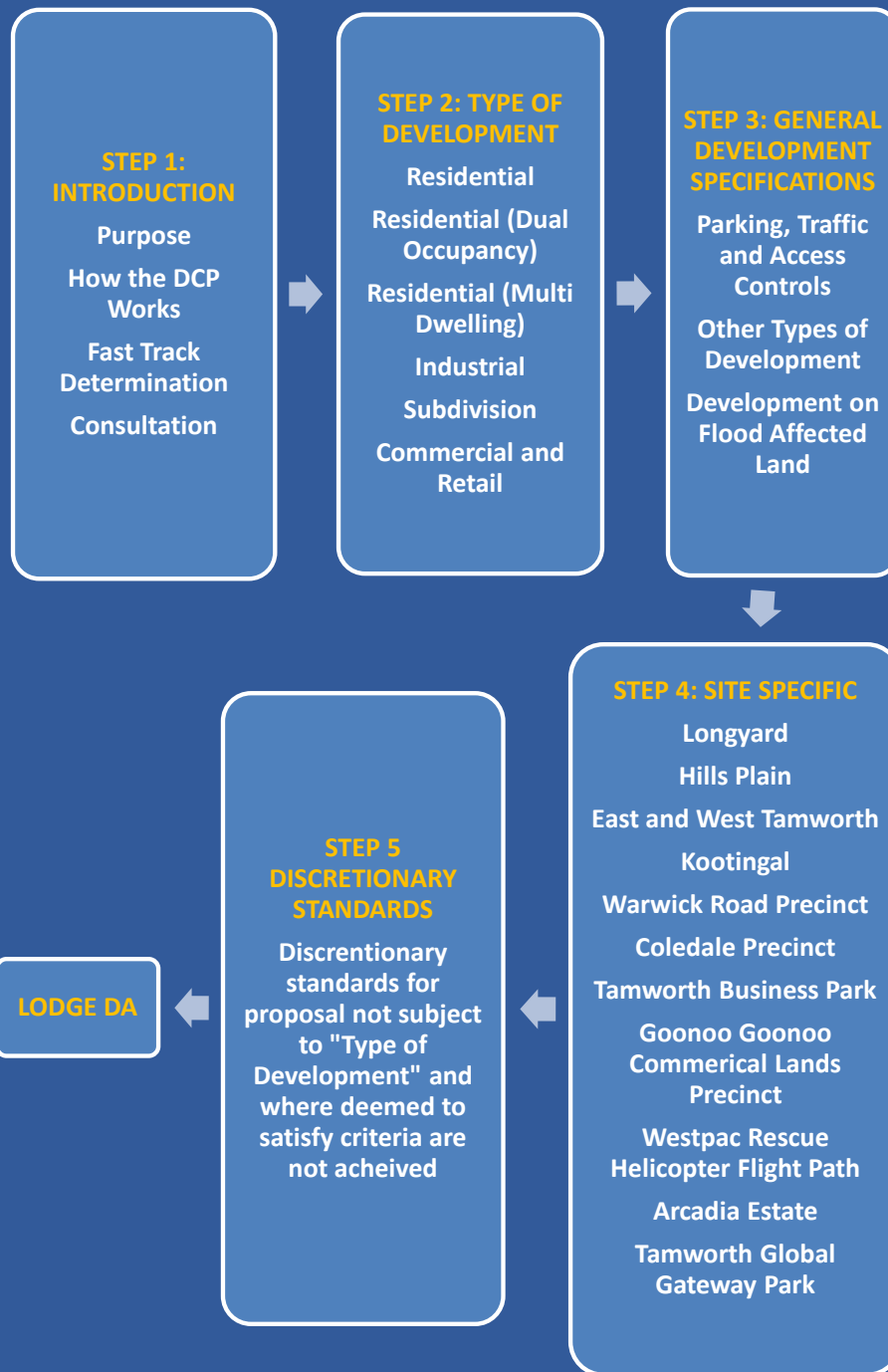
Each statement is short and in plain English, so as to clearly describe the intended desired character of a site specific area. Development proposals, in addition to being consistent with the various development controls, need to also support the intended desired future character.

The key objectives of the desired future character statements are:

To protect and enhance the existing character that distinguishes the identity of each site specific area; and

To ensure specific development controls outlined in this DCP are met and to assist decision-making as to whether a proposed development is compatible with the desired future character of the site specific area.

STEP 2: TYPE OF DEVELOPMENT





STEP 2: TYPE OF DEVELOPMENT

General Housing and Ancillary Structures Development Controls

These are the 'deemed to satisfy' controls relating to Residential (General Housing and Ancillary Structures) developments. Please note, additional site-specific requirements may also apply to your development, check STEP 4.

Building Setbacks	Zone	Street	Side/Rear
	R1	4.5m, 5.5m to garage	BCA
R2 (LSM – U)	5.5m	1m	
R2 (LSM – U adjoining R2 LSM - V)	7.5m	1.5m	
R2 (LSM – V)	10m	2.5m	
R2 (LSM – W)	10m	2.5m	
R2 (LSM –AA1)	10m	4m	
R5 (LSM-W)	10m	4m	
R5 (LSM-Z)	20m	10m	
R5 (LSM-) Y1	20m	10m	
RU1	20m	10m	
RU4	20m	10m	
RU5	6m	BCA	
RU6	10m	4m	
C3	20m	10m	
SP3	10m	4m	

- In Zone R2 and R5, setbacks vary dependent upon the Minimum Lot Size Map (LSM).
- In Zone R1 where a lot has frontage to more than one street, the setback to the secondary frontage is permitted at 2 metres for part of the dwelling, comprising a maximum of 20% of the overall length of the building, and must contain a living room area window or entry door, and must protrude from the main wall by at least 1.5 metres.
- In Zone R2 where a lot has frontage to more than one street, the setback to the secondary frontage is permitted at 4.4 metres for part of the dwelling, comprising a maximum of 20% of the overall length of the building, and must contain a living room area window or entry door, and must protrude from the main wall by at least 1.5 metres.
- Where the shape of the lot or site constraints affect the placement of a dwelling, encroachment to the building lines in the above table will be permitted, to a maximum of 5% of the specified setback and for a maximum of 10% of the length of the wall.
- Within "The Peak" a setback of 2 metres is permitted to verandahs, being open-style elements of the building façade.
- Existing trees and vegetation should be preserved particularly street trees and those within the front setback.

- Building Height** Measured from natural ground level to:
- Topmost ceiling: maximum 7.2m
 - Top of the ridge: maximum 10m
 - For development on ridgelines, the roofline must not project above the ridgeline where visible from any public road or place.
 - Any development on a ridgeline must be accompanied with a Visual Impact Assessment.

- Privacy**
- Single storey development meeting setbacks do not require specific privacy controls.
 - Development of more than one storey should locate and size windows to habitable rooms to avoid facing onto windows, balconies or courtyards of adjoining dwellings.

- Design**
- No windowless facades at the street frontage(s).
 - Where a three car garage is proposed, the third garage is to be setback at least 1m from the front garage line.
 - The width of garage doors must not be greater than 50% of the front elevation.

Site Coverage	Zone	Cumulative site coverage
	R1	75%
	R2	40%
	R5	25%
	RU1	Not specified
	RU4	Not specified
	RU5	60% sewerred 40% un-sewerred
	RU6	Not specified
	C3	Not specified
	SP3	Not specified

- Notwithstanding, stormwater runoff must not exceed infrastructure capacity.

NB: Cumulative site coverage Includes all hardstand areas (e.g. driveways, artificial turf and other non-pervious areas).

- Parking, Traffic and Access**
- Refer to *Step 3: General Development Specifications – Parking, Traffic and Access Controls*.

- Utilities**
- Buildings and structures are to be located clear of utility infrastructure.
 - For sewer mains, structures are to be located in accordance with Council’s Policy “Excavating/Filling or Building Adjacent to or Over Existing Sewer Mains”.
 - Details of water supply are to be provided.
 - If available, connect to reticulated supply;
 - Where trickle supply is available, connection shall be in accordance with Council Policy “Low Flow (Trickle Feed) Water Supply”. Tanks required under this policy are required in addition to any BASIX and bushfire requirements.
 - Where no water supply is available, a minimum tank storage of 60,000 litres is required, of which a minimum of 10,000 litres is retained for firefighting purposes (this can increase in bushfire prone areas). See Council Policy “Water Supply to Residential Dwellings with no Reticulated Supply”.
 - The developer is responsible to consult with Essential Energy, natural gas and a telecommunications carrier regarding the provision of services.

- Fencing**
- Street fencing shall be open or combination of open panels and masonry columns to a maximum height of 1.8 metres.
 - Where a street fence is proposed, the section of side boundary fencing located in front of the building setback shall be open or combination of open panels and masonry columns to match front fence.
 - Street fencing details are required with development application for dwelling.

- Temporary Accommodation (during dwelling construction)**
- Not permitted in R1, R2, RU5 zones.
 - Written evidence that finance is available for erection of the proposed permanent dwelling within a period not exceeding 12 months.
 - Maximum period of occupation is 12 months.
 - Cannot be situated in front of the proposed dwelling.
 - Occupation by the owner and immediate family only.

Outbuildings, Carports and Detached Garages	Zone	Size	Cumulative Size of Outbuildings
	R1 <2000m ²	70m ²	100m ²
R1 >2000m ²	90m ²	150m ²	
R2 (LSM – U)	125m ²	150m ²	
R2 (LSM – V)	150m ²	175m ²	
R2 LSM – U adjoining R2 LSM – V	135m ²	165m ²	
R2 (LSM – W)	175m ²	200m ²	
R2 (LSM –AA1)	175m ²	200m ²	
R5 (LSM-W)	175m ²	200m ²	
R5 (LSM-Z)	200m ²	250m ²	
R5 (LSM – Y1)	200m ²	250m ²	
R5 Longyard Trails – Rodeo Drive	250m ²	250m ²	
RU1	Not specified		
RU4 <10ha	300m ²	400m ²	
RU4 >10ha	Not specified		
RU5	100m ²	150m ²	
RU6	125m ²	150m ²	
C3	125m ²	150m ²	
SP3	125m ²	150m ²	

- In Zones R1, R5 and RU4, setbacks vary dependent upon lot size.
- Not allowed within building setback.
- Not allowed in front of main dwelling if <4,000m² lot.
- In Zone R1, detached sheds made from a material that is not the same as the dwelling, must be setback at least 1 metre behind the front façade of the dwelling. This control applies to lots with both single and secondary frontages, with the exception of rear lanes.
- If in front of main dwelling, must:
 - Same construction,
 - Matching roof pitch, and
 - Appear like part of the habitable dwelling.
- Amenities in an ancillary structure to a dwelling are restricted to one toilet and one hand basin. In a pool house or cabana, a shower will be allowed.

Zone	Height to eave	Height to ridge
R1	3.4m	3.8m
R2 (LSM – U)	3.8m	4.2m
R2 (LSM – V)	4.0m	4.4m
R2 (LSM – W)	4.0m	4.4m
R2 (LSM – Y1)	4.0m	4.4m
R5	4.0m	4.4m
R5 Longyard Trails – Rodeo Drive	Not specified	5.0m
RU1	Not specified	
RU4	Not specified	
RU5	3.8m	4.2m
RU6	Not specified	
C3	3.2m	3.6m
SP3	Not specified	

- Alternatively outbuilding may match the house roof pitch.

Shipping Containers For Storage	<ul style="list-style-type: none"> • Shipping containers for storage are not allowed in Zones R1, R2, R5 or RU5 for a period exceeding 3 months unless: <ul style="list-style-type: none"> ○ There is only one container per property; and ○ It is located behind the existing dwelling; and ○ The setback for side and rear boundaries relevant to the zone has been achieved; and ○ It is painted to match the colour of the existing dwelling; and ○ It is screened where visible from the street or adjoining properties; • It is used for domestic storage; and • It is not on land that contains a heritage item. • Shipping containers for storage on vacant land are allowed in Zones R1, R2, R5 or RU5 where they are: <ul style="list-style-type: none"> ○ Located in the rear 50% of the lot; and ○ The setback for side and rear boundaries relevant to the zone has been achieved; and ○ Suitably screened; and ○ Painted to match the surrounds; and ○ It is used for domestic storage; and ○ It is not on land that contains a heritage item or located within the East and West Tamworth character area. • Shipping containers cannot be stacked for storage in Zones R1, R2, R5, RU4 or RU5. • Shipping containers on flood affected land are not allowed.
“Cargotecture” Shipping Containers used for Housing (Cargotecture) for Houses, Pools, Garages	<ul style="list-style-type: none"> • Dwelling structures constructed from shipping containers must comply with the development controls contained in this chapter and must also: <ul style="list-style-type: none"> ○ Feature innovative architectural design and incorporate elements such as pop outs, decks, verandahs, courtyards and variations in roof pitch; ○ Incorporate openings and materials that enhance the appearance of the structure; <p>Be painted and/or clad in materials to complement the surrounds.</p>
Relocated dwellings	<ul style="list-style-type: none"> • Dwelling not to be moved onto site before development consent issued and no work is to commence on the re-erection of the dwelling until the Construction Certificate is approved by Council or the Principal Certifying Authority. • The DA must include: <ul style="list-style-type: none"> ○ A comprehensive report prepared by an accredited Building Surveyor or Structural Engineer certifying the soundness of the building; and ○ Photographic evidence of the dwelling supported by a description of its condition. ○ A statement from a suitably qualified person shall be provided confirming that all asbestos has been removed prior to relocation.
Crown Road Access	<ul style="list-style-type: none"> • Where access to an existing allotment is from a Crown Road, the Crown Road must have an all-weather surface to a standard suitable for 2WD access for a B99 vehicle under AS2890.1. • Council is not the Roads Authority and is not responsible for the construction or ongoing maintenance of a Crown Road.
Site Levels and Retaining Walls	<ul style="list-style-type: none"> • Site and/or elevation plans must include existing and finished ground levels at Australian Height Datum (AHD). • Proposals for retaining walls must include top and bottom of wall height details (in AHD) and retaining wall locations and full extent must be shown on plans and associated elevations and cross sections. <p><i>NB: Retaining walls located on property boundaries must not result in adverse impacts on adjoining properties (e.g soil stabilisation, overlooking, drainage).</i></p>
Geology	<ul style="list-style-type: none"> • The design process must give consideration to the potential impact of erosive soils, saline soils, soils of low wet strength, highly reactive soils and steep slopes and document how these constraints are addressed.
Slope	<ul style="list-style-type: none"> • Development on slopes >15% requires detailed geotechnical investigation (including slope stability analysis) and design to demonstrate good hillside development practice. Engineer’s certification to accompany development application. • Details of sub-surface drainage is to be provided with no discharge to slopes. • Development on slopes >20% is not permitted.

Pools	<ul style="list-style-type: none"> • Are to be positioned, including fencing, behind the building line. • Where visible from a public place or road, details of screening are to be supplied. • Any associated retaining walls or decks are not to exceed 1.0 metres above natural surface level. • Pool pump enclosure to be placed greater than 15 metres from a habitable room in a dwelling on adjoining property or within a sound-proof enclosure and must be indicated on the plan set • Must have a rain water tank not less than 3000 litres that is available on the property for topping up the pool. Applies to pools larger than 20,000 litres. • Water Sensitive Design (WSE) controls do not apply to isolated pool development applications
Water tanks	<ul style="list-style-type: none"> • Located behind the street setback of any dwelling (unless placed below ground). • Suitably screened where visible from a public place or street. • The location of tanks and size should be shown on the plan prepared to accompany the DA, including details of any physical screen.
Exhibition Homes	<ul style="list-style-type: none"> • Not acceptable to be located in a cul de sac, no through road, dual occupancy or multi dwelling housing development. • Allowed to be open for inspection between 9.00am and 5.30pm daily. • Development consent will be limited to period of eighteen (18) months from the date of an Occupation Certificate. • Upon expiry of development consent the dwelling shall revert to normal domestic use. • A single advertisement is permitted. • A minimum of 2 car spaces must be provided onsite.
Water Sensitive Essentials (WSE)* *Compliance is achieved by meeting a minimum of two out of five of the following NB: Consult with Council to discuss water saving rebates that are available for water sensitive essential requirements.	<ul style="list-style-type: none"> • Details must be provided demonstrating that a minimum of 2 out of the following 5 WSE's has been achieved: <ul style="list-style-type: none"> ○ Water efficient appliances and fittings - Water Efficiency Labelling & Standards (WELS) rating with a minimum of 4 stars. ○ Rainwater tank(s) with a volume of not less than 10,000L. An appropriate mechanism is to be provided for automatically switching to the town water supply (if available) when the volume of water in the rainwater tank(s) is low ○ Landscaped stormwater retention area (Rain garden) <ul style="list-style-type: none"> ○ minimum of 5m² of retention area ○ must be designed by a suitably qualified person. ○ Grey water diversion device - a gravity diversion device with a hand-activated valve, switch or tap that is fitted to the outlet of the waste pipe of the laundry tub. The device can be switched by the householder to divert greywater from the laundry tub by gravity directly to the diversion line and the dedicated land application system (e.g. lawn or garden beds) instead of the sewer. <ul style="list-style-type: none"> ○ The dedicated land application system must be not less than 10 m². ○ Greywater must not be stored. ○ Gravity diversion devices must not be installed below the "S" bend on any plumbing fitting and must be installed by a licensed plumber. ○ A Council approved on-site wastewater disposal system will also be acceptable. ○ Grey water treatment device - this treats greywater for re-use on a property, such as toilet flushing, washing machine and surface irrigation of gardens and lawn. It is a form of on-site wastewater treatment. <ul style="list-style-type: none"> ○ the owner of the premises must obtain approval from Council for installation and operation under section 68 of the Local Government Act 1993 and Part 2, Division 4 Local Government (General) Regulation 2005. ○ A council must not approve the installation unless they have been accredited by the NSW Department of Health. ○ must be installed by a licensed plumber.
Plumbing for recycled water	<ul style="list-style-type: none"> • When a new dwelling is being constructed the inclusion of additional underfloor drainage pipes to enable an external greywater reuse device to be connected.

WSE Exemptions	<ul style="list-style-type: none"> Water Sensitive Design (WSE) controls (including plumbing for recycled water) do not apply to General Housing, Ancillary Structure development or Dual Occupancy where reticulated connection to water and sewer is not available or is not required.
Bushfire Prone Land	<ul style="list-style-type: none"> The plans prepared to accompany a DA located in a bushfire prone area, being land that is identified on a map certified by the Rural Fire Service, must illustrate the required Asset Protection Zone (APZ) DAs for development located in a bushfire prone area must be accompanied by either a Bushfire Attack Level Self-Assessment (BAL) or a Bushfire Planning and Design Report (BPAD). <p><i>NB: Where the DA is accompanied by a BPAD report, Council's bushfire assessment fee will not be applicable.</i></p>
Environmental effects	<ul style="list-style-type: none"> The application documentation shall identify any potential environmental impacts of the development and demonstrate how they will be mitigated. These impacts may relate to: <ul style="list-style-type: none"> Traffic Flood liability Slope Construction impacts Solid and Liquid Waste Air quality (odour and pollution) Noise emissions Water quality Sustainability
Soil and Erosion Control	<ul style="list-style-type: none"> Runoff shall be managed to prevent any land degradation including offsite sedimentation. Reference shall be made to the NSW Governments Managing urban stormwater: soils and construction, Volume 1 (available from Landcom), commonly referred to as "The Blue Book". Cut and fill will be minimised and the site stabilised during and after construction. Arrangements in place to prompt revegetation of earthworks to minimise erosion.
Vegetation /Landscaping	<ul style="list-style-type: none"> Development design shall accommodate the retention of any mature trees and vegetation. Where mature trees and vegetation are removed, replacement landscaping should aim to incorporate local indigenous species from 'Australian Plants Suitable for Tamworth Regional Council Areas' list.
Construction Waste Management	<ul style="list-style-type: none"> All DAs for construction of general housing must be accompanied by a Resource and Waste Management Plan (RWMP). The RWMP must consider reuse or disposal of existing site waste materials (including demolition materials, earthworks) and construction waste materials.
Ongoing Waste Storage	<ul style="list-style-type: none"> Provide DA plans/drawings showing: <ol style="list-style-type: none"> storage space and layout for the required number of bins (outside) layout and dimensions required to accommodate collection vehicles when on-site collection is required Consideration of screening or discreet storage locations where possible to minimise visual impacts on neighbouring properties and the public domain.
Solar Access and Energy Efficiency	<ul style="list-style-type: none"> Shadow diagram are required for developments of ≥ 2 storeys and need to demonstrate habitable rooms of adjoining dwellings and major part of their landscaped open space to retain a minimum of 4hrs sunlight between 9am-3pm on 21st June (winter solstice). In this regard, "habitable" refers to rooms capable of occupation and does not include laundry, bathroom or garages. Development must be designed to maximise solar access, solar use and energy efficiency for future building users, as well as increased energy and thermal performance in accordance with the latest versions of Sustainable Buildings SEPP, BASIX (where relevant) and National Construction Code
Urban Heat Island Effect	<ul style="list-style-type: none"> Please refer Urban Heat Island Effect controls in <i>Step 3: General Development Specifications - other Types of Development Controls</i>



Tamworth Regional Development Control Plan 2010

STEP 2: TYPE OF DEVELOPMENT

Residential (Dual Occupancy) Development Controls

These are the ‘deemed to satisfy’ controls relating to dual occupancy developments. Please note, additional site-specific requirements may also apply to your development, check STEP4.

Building Setbacks	Zone	Single Storey		≥ 2 storey	
		Front	Side / rear	Front	Side / rear
	R1	4.5m, 5.5m to garage	1m (675mm [#])	4.5m, 5.5m to garage	2m (1125mm [#])
	RU5	6m		6m	
	RU1	20m	10m	20m	10m
	RU4	20m	10m	20m	10m

[#] roof eaves, sunhoods, gutters, downpipes, chimney flues, light fittings, electricity and gas metres, and aerials.

- In Zone R1, where a lot has frontage to more than one street, the setback to the secondary frontage is permitted at 2 metres for part of the dwelling, comprising a maximum of 20% of the overall length of the building, and must contain a living room area window or entry door, and must protrude from the main wall by at least 1.5 metres.

- Design**
- For corner lots, dwellings shall be designed to present to and have vehicle access from alternate frontages, unless one street is a collector road or greater, where both shall be accessed from the lesser street classification.
 - Garage/s shall not exceed 60% of the street elevation.

- Utilities**
- Servicing strategy required to demonstrate the availability and feasibility of providing water, sewer and stormwater services appropriate for the scale of development.
 - Buildings and structures are to be located clear of utility infrastructure.
 - For sewer mains, structures are to be located a minimum of one metre plus the equivalent invert depth from the centreline of the main. See Council Policy “Excavating/Filling or Building Adjacent to or Over Existing Sewer Mains” for further detail.
 - Dual occupancy not permitted on unsewered land in Zone R1 and RU5.
 - Stormwater arrangements shall be designed to a gravity system.
 - Details of any stormwater detention systems shall be provided.
 - Individual detention systems for each unit are acceptable for a dual occupancy development.
 - Detention tanks but must be a separate tank to that required by BASIX or bushfire requirements. Refer to Council’s Engineering Design Minimum Standards.
 - The developer is responsible to consult with Essential Energy, natural gas and a telecommunications carrier regarding the provision of services.

- Building Height**
- Measured from natural ground level to:
- Topmost ceiling: maximum 7.2m
 - Top of the ridge: maximum 10m

- Site Coverage**
- Residential zones: Maximum site coverage of 75% (includes all hardstand areas).
 - Commercial zones: Refer to Floor Space Ratio Clause contained within the Tamworth Regional Local Environmental Plan 2010.

- Solar Access and Energy Efficiency**
- Shadow diagram are required for developments of ≥ 2 storeys and need to demonstrate habitable rooms of adjoining dwellings and major part of their landscaped open space to retain a minimum of 4hrs sunlight between 9am-3pm on 21st June (winter solstice).
 - In this regard, “habitable” refers to rooms capable of occupation and does not include laundry, bathroom or garages.
 - Development must be designed to maximise solar access, solar use and energy efficiency for future building users, as well as increased energy and thermal performance in accordance with the latest versions of Sustainable Buildings SEPP, BASIX and Section J of National Construction Code

- Privacy**
- Development of more than one storey must locate and size windows to habitable rooms to avoid facing onto windows, balconies or courtyards of adjoining dwellings.

Parking, Traffic and Access	<ul style="list-style-type: none"> Refer to <i>Step 3: General Development Specifications – Parking, Traffic and Access Controls</i> 															
Vegetation / Landscaping	<ul style="list-style-type: none"> A Landscape plan must be provided. Minimum of 125m² of landscaping for each dwelling. Development design shall accommodate the retention of any mature trees and vegetation. Where mature trees and vegetation are removed, replacement landscaping should aim to incorporate local indigenous species from ‘Australian Plants Suitable for Tamworth Regional Council Areas’ list. 															
Private Open Space	<ul style="list-style-type: none"> Private open space (POS) must be provided in accordance with the following table in relation to its position relative to the dwelling for solar access. <table border="1" data-bbox="440 477 1042 636"> <thead> <tr> <th>POS Location</th> <th>Minimum Amount</th> <th>Minimum Dimension</th> </tr> </thead> <tbody> <tr> <td>North</td> <td>35m²</td> <td>5m</td> </tr> <tr> <td>East</td> <td>50m²</td> <td>6m</td> </tr> <tr> <td>South</td> <td>60m²</td> <td>6m</td> </tr> <tr> <td>West</td> <td>45m²</td> <td>6m</td> </tr> </tbody> </table> <ul style="list-style-type: none"> Must be directly accessible from a living area and may partially or wholly include a deck, alfresco area, balcony or similar area located at ground level. The private open space must be fenced. Details of the height and style of fencing must accompany the development application. Area calculation does not contain intrusions such as drying areas, electricity substations, water tanks, onsite stormwater detention systems, hot water systems and retaining walls. 	POS Location	Minimum Amount	Minimum Dimension	North	35m ²	5m	East	50m ²	6m	South	60m ²	6m	West	45m ²	6m
POS Location	Minimum Amount	Minimum Dimension														
North	35m ²	5m														
East	50m ²	6m														
South	60m ²	6m														
West	45m ²	6m														
Storage	Must provide a minimum of 5m ³ of dedicated storage area per dwelling in addition to the standard internal storage provision (e.g. wardrobes, kitchen cupboards, pantry, linen press)															
Density	<table border="1" data-bbox="440 904 799 987"> <thead> <tr> <th>Zone</th> <th>Min. Site Area per Dwelling</th> </tr> </thead> <tbody> <tr> <td>R1</td> <td>300m²</td> </tr> <tr> <td>RU5</td> <td>300m² sewerred</td> </tr> </tbody> </table>	Zone	Min. Site Area per Dwelling	R1	300m ²	RU5	300m ² sewerred									
Zone	Min. Site Area per Dwelling															
R1	300m ²															
RU5	300m ² sewerred															
Facilities	<ul style="list-style-type: none"> Letterboxes to be provided at the front property boundary in accordance with Australia Post requirements. Strata developments require an additional letter box for the Owners Corporation. Clothes drying facilities required free of access ways. Clothes lines and hoists shall be located at the rear of development and adequately screened from adjoining roads. 															
Future Subdivision	<ul style="list-style-type: none"> Dual occupancy development must consider potential future subdivision and locate buildings with adequate access to and clearance from utilities. 															
Water Tanks	<ul style="list-style-type: none"> Located behind the street setback of any dwelling (unless placed below ground). Suitably screened where visible from a public place or street. The location of tanks should be shown on the plan prepared to accompany the DA, including details of any physical screen. 															
Dual Occupancy (attached)	<ul style="list-style-type: none"> Where the land use of “Dual Occupancy (attached)” is relied upon for permissibility in Rural zones, the general criteria (such as landscaping, visitor parking, etc) will not apply. Details of the method of effluent disposal and the capacity and suitability of any existing onsite sewerage management system (OSSM) being relied upon shall be provided. Location of area suitable for parking of vehicles associated with the dual occupancy shall be indicated. The two dwellings are to be physically attached. A maximum separation of 6 metres containing a structure such as a carport of ancillary building is permitted. 															

<p>Water Sensitive Essentials (WSE)*</p> <p>*Compliance is achieved by meeting a minimum of two out of five of the following</p> <p><i>NB: Consult with Council to discuss water saving rebates that are available for water sensitive essential requirements.</i></p>	<ul style="list-style-type: none"> • Details must be provided demonstrating that a minimum of 2 out of the following 5 WSE's has been achieved: <ul style="list-style-type: none"> ○ Water efficient appliances and fittings - Water Efficiency Labelling & Standards (WELS) rating with a minimum of 4 stars. ○ Rainwater tank(s) with a volume of not less than 10,000L (5,000L per unit). An appropriate mechanism is to be provided for automatically switching to the town water supply (if available) when the volume of water in the rainwater tank(s) is low ○ Landscaped stormwater retention area (Rain garden) <ul style="list-style-type: none"> ○ minimum of 5m² of retention area ○ must be designed by a suitably qualified person. ○ Grey water diversion device - a gravity diversion device with a hand-activated valve, switch or tap that is fitted to the outlet of the waste pipe of the laundry tub. The device can be switched by the householder to divert greywater from the laundry tub by gravity directly to the diversion line and the dedicated land application system (e.g. lawn or garden beds) instead of the sewer. <ul style="list-style-type: none"> ○ The dedicated land application system must be not less than 10 m². ○ Greywater must not be stored. ○ Gravity diversion devices must not be installed below the "S" bend on any plumbing fitting and must be installed by a licensed plumber. ○ A Council approved on-site wastewater disposal system will also be acceptable ○ Grey water treatment device - this treats greywater for re-use on a property, such as toilet flushing, washing machine and surface irrigation of gardens and lawn. It is a form of on-site wastewater treatment. <ul style="list-style-type: none"> ○ the owner of the premises must obtain approval from Council for installation and operation under section 68 of the Local Government Act 1993 and Part 2, Division 4 Local Government (General) Regulation 2005. ○ A council must not approve the installation unless they have been accredited by the NSW Department of Health. ○ must be installed by a licensed plumber.
<p>Plumbing for recycled water</p>	<ul style="list-style-type: none"> • When a new dwelling is being constructed the inclusion of additional underfloor drainage pipes to enable an external greywater reuse device to be connected.
<p>WSE Exemptions</p>	<ul style="list-style-type: none"> • Water Sensitive Design (WSE) controls (including plumbing for recycled water) do not apply to General Housing, Ancillary Structure development or Dual Occupancy where reticulated connection to water and sewer is not available or is not required.
<p>Bushfire Prone Land</p>	<ul style="list-style-type: none"> • The plans prepared to accompany a DA located in a bushfire prone area, being land that is identified on a map certified by the Rural Fire Service, must illustrate the required Asset Protection Zone (APZ). • DAs for development located in a bushfire prone area must be accompanied by either a Bushfire Attack Level Self-Assessment (BAL) or a Bushfire Planning and Design Report (BPAD). <p><i>NB: Where the DA is accompanied by a BPAD report, Council's bushfire assessment fee will not be applicable.</i></p>
<p>Site Levels and Retaining Walls</p>	<ul style="list-style-type: none"> • Site and/or elevation plans must include existing and finished ground levels at Australian Height Datum (AHD). • Proposals for retaining walls must include top and bottom of wall height details (in AHD) and retaining wall locations and full extent must be shown on plans and associated elevations and cross sections. <p><i>NB: Retaining walls located on property boundaries must not result in adverse impacts on adjoining properties (e.g soil stabilisation, overlooking, drainage).</i></p>
<p>Geology</p>	<ul style="list-style-type: none"> • The design process must give consideration to the potential impact of erosive soils, saline soils, soils of low wet strength, highly reactive soils and steep slopes and document how these constraints are addressed.
<p>Slope</p>	<ul style="list-style-type: none"> • Development on slopes >15% requires detailed geotechnical investigation (including slope stability analysis) and design to demonstrate good hillside development practice. Engineer's certification to accompany development application. • Details of sub-surface drainage is to be provided with no discharge to slopes. • Development on slopes >20% is not permitted.

Environmental effects	<ul style="list-style-type: none">• The application documentation shall identify any potential environmental impacts of the development and demonstrate how they will be mitigated. These impacts may relate to:<ul style="list-style-type: none">○ Traffic○ Flood liability○ Slope○ Construction impacts○ Solid and Liquid Waste○ Air quality (odour and pollution)○ Noise emissions○ Water quality○ Sustainability
Soil and Erosion Control	<ul style="list-style-type: none">• Runoff shall be managed to prevent any land degradation including offsite sedimentation.• Reference shall be made to the NSW Governments <i>Managing urban stormwater: soils and construction, Volume 1</i> (available from Landcom), commonly referred to as “The Blue Book”.• Cut and fill will be minimised and the site stabilised during and after construction.• Arrangements in place to prompt revegetation of earthworks to minimise erosion.
Construction Waste Management	<ul style="list-style-type: none">• All DAs for construction of dual occupancy must be accompanied by a Resource and Waste Management Plan (RWMP).• The RWMP must consider reuse or disposal of existing site waste materials (including demolition materials, earthworks) and construction waste materials.
Ongoing Waste Storage	<ul style="list-style-type: none">• Provide DA plans/drawings showing:<ul style="list-style-type: none">a) storage space and layout for the required number of bins (outside)b) waste collection point(s) for the site;c) path of access for users and collection vehicles; andd) layout and dimensions required to accommodate collection vehicles when on-site collection is required.• Consideration of screening or discreet storage locations to minimise visual, odour and acoustic impacts on neighbouring properties and the public domain.• Locate and design the waste storage facilities to visually and physically complement the design of the development.• Avoid locating waste storage facilities between the front alignment of a building and the street.
Noise	<ul style="list-style-type: none">• Where relevant, applications are to contain information about likely noise generation and the method of mitigation.
Urban Heat Island Effect	<ul style="list-style-type: none">• Please refer Urban Heat Island Effect controls in <i>Step 3: General Development Specifications - other Types of Development Controls</i>



Tamworth Regional Development Control Plan 2010

STEP 2: TYPE OF DEVELOPMENT

Residential (Multi-Dwelling) Development Controls

These are the 'deemed to satisfy' controls relating to residential (multi-dwelling) developments. Please note, additional site-specific requirements may also apply to your development, check STEP 4.

Building Setbacks	Zone	Single Storey		≥ 2 storey	
		Front	Side / rear	Front	Side / rear
	R1	4.5m, 5.5m to garage	1m (675mm#)	4.5m, 5.5m to garage	2m (1125mm#)
	RU5	6m		6m	
	E1, E2, E3 and MU1	BCA	BCA	BCA	BCA

roof eaves, sunhoods, gutters, downpipes, chimney flues, light fittings, electricity and gas metres, and aerials.

- No concession to secondary frontage.

Density	Zone	Min. Site Area per Dwelling
	R1	300m ²
	RU5	300m ² sewerred

- Design**
- For corner lots, dwellings be designed to present to and have vehicle access from alternate frontages, unless one street is a collector road or greater, where access shall be obtained from the lesser street classification.
 - Garage/s shall not exceed 60% of the street elevation.

- Utilities**
- Servicing strategy required to demonstrate the availability and feasibility of providing water, sewer and stormwater services appropriate for the scale of development.
 - Buildings and structures are to be located clear of utility infrastructure.
 - For sewer mains, structures are to be located a minimum of one metre or the equivalent invert depth from the centreline of the main. See Council Policy "Excavating/Filling or Building Adjacent to or Over Existing Sewer Mains" for further detail.
 - Multiple dwellings not permitted on unsewered land.
 - Stormwater arrangements shall be designed to a gravity system.
 - Details of any stormwater detention systems shall be provided.
 - Individual detention systems are acceptable for each unit up to 5 units (maximum).
 - Detention tanks must be a separate tank to that required by BASIX or bushfire requirements.
 - Detention basins or underground detention must be provided in a development with more than 5 units.
 - Refer to Council's current version of the Engineering Design Minimum Standards.
 - The developer is responsible to consult with Essential Energy, natural gas and a telecommunications carrier regarding the provision of services.

- Building Height** Measured from natural ground level to:
- Topmost ceiling: maximum 7.2m
 - Top of the ridge: maximum 10m

- Site Coverage**
- Residential zones: Maximum site coverage of 75% (includes all hardstand areas).
 - Commercial zones: Refer to LEP.

- Privacy**
- Multi-storey development must locate and size windows to habitable rooms to avoid facing onto windows, balconies or courtyards of adjoining dwellings.

- Parking, Traffic and Access**
- Refer to *Step 3: General Development Specifications – Parking, Traffic and Access Controls*

-
- Solar Access and Energy Efficiency**
- Shadow diagrams are required for developments of ≥ 2 storeys and need to demonstrate habitable rooms of adjoining dwellings and major part of their landscaped open space to retain a minimum of 4hrs sunlight between 9am-3pm on 21st June (winter solstice).
 - In this regard, "habitable" refers to rooms capable of occupation and does not include laundry, bathroom or garages.
 - Development must be designed to maximise solar access, solar use and energy efficiency for future building users, as well as increased energy and thermal performance in accordance with the latest versions of Sustainable Buildings SEPP, BASIX and Section J of National Construction Code.

-
- Construction Waste Management**
- All DAs for construction of multi-dwelling must be accompanied by a Resource and Waste Management Plan (RWMP).
 - The RWMP must consider reuse or disposal of existing site waste materials (including demolition materials, earthworks) and construction waste materials.

-
- Ongoing Waste Storage**
- Provide suitable and sufficient waste storage facilities, this includes DA plans/drawings showing:
 - storage space and layout sufficient for number of bins per occupancy
 - storage room for bulky waste;
 - waste collection point(s) for the site;
 - path of access for users and collection vehicles; and
 - layout and dimensions required to accommodate collection vehicles when on-site collection is required.
 - Consideration of screening or discreet storage locations to minimise visual, odour and acoustic impacts on neighbouring properties and the public domain.
 - Locate and design the waste storage facilities to visually and physically complement the design of the development.
 - Avoid locating waste storage facilities between the front alignment of a building and the street.
 - Ensure the waste storage facilities are easily accessible for all users and have step free and unobstructed access to the collection point(s).
 - Where the development has less than 6 dwellings fronting the kerb and proposes kerbside collection, the nominated collection point must be of sufficient size to accommodate all allocated waste and recycle bins and must be within the development sites frontage.
 - Kerbside collection on arterial roads and roads with high vehicle and pedestrian traffic must be deemed safe by Council.
 - For development with 6 or more dwellings, a private waste collection service may be required where kerbside collection is not deemed safe by Council or may impact on the existing streetscape.

-
- Private Open Space**
- Private open space (POS) must be provided for units on ground level at the following rate in relation to its orientation for solar access.
 - The private open space on ground level must be fenced. Details of the height and style of fencing must accompany the development application.

POS Location	Minimum Amount	Minimum Dimension
North	35m ²	4m
East	50m ²	4m
South	60m ²	4m
West	45m ²	4m

- Must be directly accessible from a living area and may partially or wholly include a deck, alfresco area, balcony or similar area located at ground level.
 - Area calculation does not contain intrusions such as drying areas, electricity substation, water tanks, onsite stormwater detention systems, hot water systems, retaining walls.
 - If located on street side of dwelling, details of fencing must be supplied.
-

- Balconies for Private Open Space**
- For units located on the upper storey of a building in a development not captured by the requirements of State Environmental Planning Policy (Housing) 2021, the following balcony size is required:

Number of bedrooms in each dwelling	Minimum Amount	Minimum Dimension
1	4m ²	2m
2	10m ²	2m
3 or more	16m ²	4m

- Must be located adjacent to a living room, dining room or kitchen to extend the living space.
- Are calculation does not contain intrusions such as drying areas, hot water systems or air conditioners.
- The minimum balcony depth to be counted as contributing to the balcony area is 1m.

- Vegetation / Landscaping**
- A Landscape plan must be provided.
 - Landscaping shall be provided on the basis of 100m² per dwelling for the development site.
 - Location and grouping of plant types shall be multi-functional providing privacy, security, shading and recreation functions.
 - Landscaping shall comprise only drought and frost tolerant species
 - Development design shall accommodate the retention of any mature trees and vegetation.
 - Where mature trees and vegetation are removed, replacement landscaping should aim to incorporate local indigenous species from 'Australian Plants Suitable for Tamworth Regional Council Areas' list.
 - Minimum width of 2m required for all landscaped areas.

- Outdoor Lighting**
- Must provide certification of compliance with *AS4282 Control of Obtrusive Effects of Outdoor Lighting* if >10 dwellings proposed.

- Adaptability**
- Development of ≥5 units must provide 1 in 5 units capable of conversion to adaptable housing in accordance with *AS4299*, Class C level.

- Facilities**
- Letterboxes provided at the front property boundary in accordance with Australia Post requirements. Strata developments require an additional letter box for the Body Corporate.
 - Clothes drying facilities required free of access ways. Clothes lines and hoists shall be located at the rear of development and adequately screened from adjoining roads.

- Storage**
- Must provide a minimum of 5m³ of dedicated storage area per dwelling in addition to the standard internal storage provision (e.g. wardrobes, kitchen cupboards, pantry, linen press).

- Water Tanks**
- Water storage tanks are to be located below ground or behind the buildings in the development.

- Site Levels and Retaining Walls**
- Site and/or elevation plans must include existing and finished ground levels at Australian Height Datum (AHD).
 - Proposals for retaining walls must include top and bottom of wall height details (in AHD) and retaining wall locations and full extent must be shown on plans and associated elevations and cross sections.

NB: Retaining walls located on property boundaries must not result in adverse impacts on adjoining properties (e.g soil stabilisation, overlooking, drainage).

- Geology**
- The design process must give consideration to the potential impact of erosive soils, saline soils, soils of low wet strength, highly reactive soils and steep slopes and document how these constraints are addressed.

- Slope**
- Development on slopes >15% requires detailed geotechnical investigation (including slope stability analysis) and design to demonstrate good hillside development practice. Engineer's certification to accompany development application.
 - Details of sub-surface drainage is to be provided with no discharge to slopes.
 - Development on slopes >20% is not permitted.

Bushfire Prone Land	<ul style="list-style-type: none">• The plans prepared to accompany a DA located in a bushfire prone area, being land that is identified on a map certified by the Rural Fire Service, must illustrate the required Asset Protection Zone (APZ).• DAs for development located in a bushfire prone area must be accompanied by either a Bushfire Attack Level Self-Assessment (BAL) or a Bushfire Planning and Design Report (BPAD).• Where the DA is accompanied by a BPAD report, Council's bushfire assessment fee will not be applicable.
Environmental effects	<ul style="list-style-type: none">• The application documentation shall identify any potential environmental impacts of the development and demonstrate how they will be mitigated. These impacts may relate to:<ul style="list-style-type: none">○ Traffic○ Flood liability○ Slope○ Construction impacts○ Solid and Liquid Waste○ Air quality (odour and pollution)○ Noise emissions○ Water quality○ Sustainability
Soil and Erosion Control	<ul style="list-style-type: none">• Runoff shall be managed to prevent any land degradation including offsite sedimentation.• Reference shall be made to the NSW Governments <i>Managing urban stormwater: soils and construction, Volume 1</i> (available from Landcom), commonly referred to as "The Blue Book".• Cut and fill will be minimised and the site stabilised during and after construction.• Arrangements in place to prompt revegetation of earthworks to minimise erosion.
Noise	<ul style="list-style-type: none">• Where relevant, applications are to contain information about likely noise generation and the method of mitigation.
Urban Heat Island Effect	<ul style="list-style-type: none">• Please refer Urban Heat Island Effect controls in <i>Step 3: General Development Specifications - other Types of Development Controls</i>



Tamworth Regional Development Control Plan 2010

STEP 2: TYPE OF DEVELOPMENT

Industrial Development Controls

These are the 'deemed to satisfy' controls relating to industrial developments. Please note, additional site-specific requirements may also apply to your development, check STEP 4.

Building Setbacks	<ul style="list-style-type: none"> • Street setback must be a minimum of 5m. • No concession for secondary frontage. • Side and rear setbacks to meet BCA requirements.
Design	<ul style="list-style-type: none"> • Building elevations to the street frontage or where visible from a public road, reserve, railway or adjoining residential area are to incorporate variations in façade treatments, roof lines and building materials. • Low scale building elements such as display areas, offices, staff amenities are to be located at the front of premises and constructed in brick or finished concrete or light weight cladding. • Roofing materials should be non-reflective where roof pitch is greater than 17 degrees or visible from a public road.
Utilities and Services	<ul style="list-style-type: none"> • Servicing strategy required to demonstrate the availability and feasibility of providing water, sewer and stormwater services appropriate for the scale and nature of development. • Applications must demonstrate adequate provision for storage and handling of solid wastes. • Liquid Trade Waste Application and facilities are required where liquid wastes (excluding domestic waste from a hand wash basin, shower, bath or toilet) are to be discharged to Council's sewerage system. • Detention of stormwater may be required. • Onsite stormwater capture and reuse shall be provided for maintenance of landscaping. Storage tanks shall be appropriately located and screened. NB – reuse facilities shall not form part of stormwater calculations. • Buildings and structures are to be located clear of utility infrastructure. • For sewer mains, structures are to be located a minimum of one metre plus the equivalent invert depth from the centreline of the main. See Council Policy "Excavating/Filling or Building Adjacent to or Over Existing Sewer Mains" for further detail. • The developer is responsible to consult with Essential Energy, natural gas and a telecommunications carrier regarding the provision of services.
Landscaping	<ul style="list-style-type: none"> • A Landscape plan must be provided. • Landscaping is required: <ul style="list-style-type: none"> ○ in the front 5m of street setback; ○ side and rear setbacks where visible from public place or adjoining residential area; and ○ areas adjacent to building entrances and customer access points. • A reduced landscaped setback, to a minimum of 3 metres, is permitted where car parking is provided immediately behind the landscaped area. • Landscaping or shade structures shall be provided in outdoor car parking areas where >10 spaces are required, to provide shading and soften the visual impact of large hard surfaces. • Landscaping shall comprise only low maintenance, drought and frost tolerant species. • Development design shall accommodate the retention of any mature trees and vegetation. • Where mature trees and vegetation are removed, replacement landscaping should aim to incorporate local indigenous species from 'Australian Plants Suitable for Tamworth Regional Council Areas' list. • Location and grouping of plant types shall be multi-functional providing privacy, security, shading and recreation functions.
Fencing	<ul style="list-style-type: none"> • Open work or storage areas visible from a public place or street must be fenced by masonry materials or pre-coloured metal cladding of minimum 2m height. Fencing to be located behind the building setback. • Security fencing must be also located behind the building setback area except when of a decorative nature to be integrated in the landscaped area.
Parking, Traffic and Access	<ul style="list-style-type: none"> • Refer to <i>Step 3: General Development Specifications for Parking, Traffic and Access Controls</i>

Outdoor Signage	<ul style="list-style-type: none"> • Single occupant industrial site: <ul style="list-style-type: none"> ○ one free standing advertisement within the 5m landscaped setback; and ○ one advertisement integrated within the façade of the building, but no higher than the building roof line. • Multiple unit industrial site: <ul style="list-style-type: none"> ○ one index board near site entrance or within the 5m landscaped setback; and ○ one advertisement integrated within the façade of each unit, but no higher than the building roof line. • Signage must comply with <i>State Environmental Planning Policy (Industry and Employment) 2021</i> Chapter 3 and Schedule 5 Assessment Criteria • Refer to <i>Step 3: General Development Specifications – Other Types of Development Controls for further Outdoor Advertising/Signage controls.</i>
Outdoor lighting	<ul style="list-style-type: none"> • Must comply with <i>AS4282 Control of Obtrusive Effects of Outdoor Lighting.</i>
Noise	<ul style="list-style-type: none"> • Windows, doors and other wall openings shall be arranged to minimise noise impacts on residences where proposed within 400m of a residential zone. • External plant (generators, air conditioning plant etc.) shall be enclosed to minimise noise nuisance where adjoining residential area.
Fire Safety	<ul style="list-style-type: none"> • For development applications involving a change of use for an existing building where no works are proposed. Consideration must be given to whether the fire protection and structural capacity of the building will be appropriate to the building’s proposed use.
Environmental effects	<ul style="list-style-type: none"> • The application documentation shall identify any potential environmental impacts of the development and demonstrate how they will be mitigated. These impacts may relate to: <ul style="list-style-type: none"> ○ Traffic ○ Flood liability ○ Slope ○ Construction impacts ○ Solid and Liquid Waste ○ Air quality (odour and pollution) ○ Noise emissions ○ Water quality ○ Sustainability
Soil and Erosion Control	<ul style="list-style-type: none"> • Runoff shall be managed to prevent any land degradation including offsite sedimentation. • Reference shall be made to the NSW Governments <i>Managing urban stormwater: soils and construction, Volume 1</i> (available from Landcom), commonly referred to as “The Blue Book”. • Cut and fill will be minimised and the site stabilised during and after construction. • Arrangements in place to prompt revegetation of earthworks to minimise erosion.
Site Levels and Retaining Walls	<ul style="list-style-type: none"> • Site and/or elevation plans must include existing and finished ground levels at Australian Height Datum (AHD). • Proposals for retaining walls must include top and bottom of wall height details (in AHD) and retaining wall locations and full extent must be shown on plans and associated elevations and cross sections. <p><i>NB: Retaining walls located on property boundaries must not result in adverse impacts on adjoining properties (e.g soil stabilisation, overlooking, drainage).</i></p>
Geology	<ul style="list-style-type: none"> • The design process must give consideration to the potential impact of erosive soils, saline soils, soils of low wet strength, highly reactive soils and steep slopes and document how these constraints are addressed.

Construction and Operational Waste Management	<ul style="list-style-type: none">• All DAs for construction of industrial development must be accompanied by a Resource and Waste Management Plan (RWMP).• The RWMP must consider reuse or disposal of existing site waste materials (including demolition materials, earthworks) and construction waste materials.• The RWMP must consider operational waste management with consideration of the ongoing waste storage controls
Ongoing Waste Storage	<ul style="list-style-type: none">• Provide suitable and sufficient waste storage facilities, this includes DA plans/drawings showing:<ul style="list-style-type: none">a) storage space and layout for bins and skipsb) waste collection point(s) for the site;c) path of access for users and collection vehicles; andd) layout and dimensions required to accommodate collection vehicles when on-site collection is required• For multi-use and industrial units, areas for waste storage and recycling must be provided in each industrial unit – with adequate space provided for each on-site separation and storage of recyclables and garbage.• Ensure the waste storage facilities are easily accessible for all users and have step free and unobstructed access to the collection point(s).• Bin enclosures/rooms must be ventilated, fire protected, drained to the sewerage system and have lighting and water supply.
Noise	<ul style="list-style-type: none">• Where relevant, applications are to contain information about likely noise generation and the method of mitigation.



Tamworth Regional Development Control Plan 2010

STEP 2: TYPE OF DEVELOPMENT

Subdivision Controls

These are the guidelines relating to subdivision.

Please note, additional site-specific requirements may also apply to your development, check STEP 4.

Plans of Subdivision	<ul style="list-style-type: none"> A registered surveyor must prepare a suitable plan showing the proposed subdivision for submission with a Development Application for Strata and Community Title subdivisions.
Servicing Strategy & Preliminary Engineering Designs	<ul style="list-style-type: none"> All development applications shall provide a servicing strategy (water, sewer, stormwater, telecommunications and electricity) and preliminary engineering designs where an extension to infrastructure is required to demonstrate that it is feasible for the subdivision to be serviced in accordance with the requirements of Council's current version of the Engineering Design Minimum Standards The strategy shall include evidence that the developer has consulted with the Water Supply Authority in relation to the availability and capacity of the existing water and sewer networks consistent with the likely future use of the land. The strategy shall include evidence that the developer has consulted with TRC Regional Services to obtain available information in relation to stormwater catchments, capacities and preferred solutions. For new estates this shall include nomination of a maximum number of equivalent tenements that will be serviced by the infrastructure. Where the verge is proposed to be less than the minimum width specified by Council's current version of the Engineering Design Minimum Standards, a drawing of the road reserve demonstrating that all services and utilities will fit within the alternative width must be provided.

Water	<ul style="list-style-type: none"> The Servicing Strategy including preliminary engineering designs shall identify the method of providing water to the proposed lots in accordance with the Council's current version of the Engineering Design Minimum Standards. Reticulated water (public utility supply) will not be available to development in areas outside of those areas modelled in the latest water servicing strategy (e.g. Development Services Plan – DSP) Reticulated water (public utility supply) is to be supplied to subdivisions where the Lot Size Map specifies a minimum lot size of up to an including 2 hectares unless the Table below provides exclusion to this requirement. The following table relates to land shown on the Lot Size Map with a minimum lot size of 2 hectares:
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Location	Public Utility Water Supply Required?	Location	Public Utility Water Supply Required?
Manilla	No	Impala Estate	No
Nundle	Yes	Bylong Road	Yes
Hanging Rock	No	Piallamore	Yes*
Moonbi/ North Kootingal	Yes, to serviceable areas.	Dungowan Village	No
Tintinhull	Yes**	Somerton Village	No
Kootingal	Yes	Attunga Village	Yes
Moore Creek/Hills Plains	Yes	Woolbrook Village	No
Westdale	Yes	Daruka	Yes**
Calala	Yes		

* Where the land is within the locality that extends from Nemingha to Piallamore, one (1) lot may be excised from the land as it existed at 11 October 2011 without the requirement for public utility water supply. A Restriction as to User under the Conveyancing Act shall be applied to the title of both lots created which specifies that no further subdivision will be permitted without the provision of public utility water supply to the land.

** Where land is within the Tintinhull and Daruka locality, proposed lots equal to or greater than 5ha in size do not require reticulated water. On-site water storage requirements will be applied when future development occurs on lots. A Restriction as to User under the Conveyancing Act shall be applied to the title of any new lot created **that is 5 ha or less**, which specifies that no further subdivision will be permitted without the provision of public utility water supply to the land.

- On-site water storage requirements will be applied when future development occurs on lots where the Lot Size Map specifies a minimum area of 9.9 hectares or greater.

**Water Supply -
Minimum static
head**

- The servicing strategy should give consideration to recommended minimum static head required at the meter location for each allotment, when service reservoir is 1/3 depleted, in accordance with the following:

Location	Recommended Minimum Static Head (metres)
Attunga	20
Barraba	20
Bendemeer	25
Manilla	20
Moonbi/ Kootingal	25
Nundle	28
Tamworth	28

Sewer

- The servicing strategy including preliminary engineering designs shall identify the method of providing sewer to the proposed lots in accordance with the Council's current version of the Engineering Design Minimum Standards.
- Residential lots are to be serviced by gravity sewer. Detail of any lot filling required to achieve minimum grade shall be provided.
- The area within proposed lots shall be capable of being serviced by gravity sewer (unless located within an estate where an alternate sewer system is established).
- Reticulated sewer is required where the Lot Size Map specifies a minimum lot size of up to 4000m² (excluding Kingswood Estate, which is serviced by on-site sewage management facilities).
- On-site sewer management facilities will be required when developing lots where the Lot Size Map specifies a minimum area of 4000m² hectare or greater.

**Stormwater
Drainage**

- The servicing strategy, including preliminary engineering designs shall include consideration of flows up to the 1 in 100 year ARI for existing natural flow, existing developed flow and post developed flow.
- Minor flows are to be designed to a 1 in 5 year ARI for residential and 1 in 10 year ARI for commercial/industrial subdivisions.
- Location of major flows are to be defined to a designated overland flow path up to a 1 in 100 year ARI. Where the path traverses private property, it shall be dedicated as a drainage reserve UNLESS a natural drainage line (as indicated by blue line on the topographic map).
- Detention basins are not a preferred solution.
- Where drainage is required to the rear of the lot, inter-allotment drainage shall be located in easements in favour of the upstream properties benefitted by the easement.

**Telecommunicat-
ions**

- Telecommunications are to be for each lot in a subdivision in accordance with the requirements of the provider.
- In the circumstances of a boundary adjustment, telecommunications are to be provided for any allotments without an existing dwelling.

Electricity

- The subdivision is to be serviced by underground electricity where the Lot Size Map specifies a minimum lot size of up to and including 2 hectares.
- For subdivision of land where the Lot Size map specifies a minimum lot size of greater than 2 hectares and less than 400 hectares, electricity supply is required and may be overhead.
- For subdivision of land where the Lot Size Map specifies a minimum lot size of 400 hectares or greater, no connection to electricity is specified.

Lot size

- "Lot Size Map" and Clause 4.1 of Tamworth Regional LEP 2010 prescribe the minimum lot sizes for all new allotments.
- Minimum lot sizes do not apply to Strata and Community Title Subdivisions.
- Residential lots must be able to accommodate a rectangle suitable for building purposes measuring 10m x 15m behind the street setback (note there is no concession to a second street frontage for setbacks).
- Easements are not to encumber more than 10% of the total area of the lot where the Lot Size Map specifies a minimum lot size of up to and including 2000m².

Battle-axe shaped lots	<ul style="list-style-type: none"> • Minimum area for battle-axe shaped lot is 800m² excluding the access corridor. This control does not apply to dual occupancy or multi dwelling housing developments. • In Zones R1, R2, R5 and RU5 access handles shall be of a minimum width of 4.5 metres, of which 3 metres is to be constructed and sealed with reinforced concrete, asphaltic concrete or interlocking pavers at the time of subdivision. • Where subdivision comprises part of a proposal for a dual occupancy or multi dwelling housing, the access handles shall be of a minimum width of 4.5 metres, of which 3 metres is to be constructed and sealed with reinforced concrete, asphaltic concrete or interlocking pavers. The works shall be completed prior to issue of an Occupation Certificate or a Subdivision Certificate, whichever occurs first. • In all other zones the standard for construction of access handles shall be a minimum width of 4.5 metres, constructed with a dust suppressing base course of adequate depth to suit design traffic at the time of subdivision. • The topography of the site may require installation of kerbing to manage overland stormwater. • The suitability of battle-axe allotments will be determined having regard to the: <ul style="list-style-type: none"> - area of the allotment; - potential for conflict with adjoining land uses, - dust and noise impacts from the location of the driveway; and - availability of utilities. • No more than two Torrens title lots shall share a battle-axe handle access. This control does not apply to multi dwelling housing developments. • Industrial lots shall have a minimum street frontage and square width of 24m and an area of 1,000m². (NB – this size is specified to facilitate subdivision for lease purposes and does not generally reflect a suitable configuration for industrial lots, which should be sized to accommodate development, storage areas and vehicle delivery and manoeuvring requirements). • Industrial subdivision cannot be serviced by cul-de-sac road formation.
Road Network Design	<ul style="list-style-type: none"> • A Traffic Impact Assessment is to include an assessment of the proposed subdivision and its impacts on the adjacent existing road network. • The road hierarchy shall be defined. • Road network design should include consideration of vehicular, pedestrian and cyclist safety. This should include the restricted/controlled use of four-way intersections, the standards for staggered-T intersections, the speed environment created by the road network and the risk to safety created by the design. • Residential subdivision must incorporate appropriate facilities and opportunities for pedestrian and bicycle movement. • Provision must be made for footpaths to connect to existing footpaths. • The alignment, width and design standard for all roads shall be in accordance with the expected traffic volume, type of traffic and desired speed in accordance with Council's current version of the Engineering Design Minimum Standards. A summary table of requirements is provided at the end of this section. • Kerb and gutter is required for subdivision where the Lot Size Map specifies a minimum lot size of up to and including 2000m². • The road pavement requirement will be determined based on vehicle movements (both current and future) and with consideration to the existing development and character of the locality. Generally, sealed pavement will be required where the Lot Size Map specifies a minimum lot size of up to and including 5 hectares. Note: environmental circumstances such as dust nuisance and drainage may require sealed pavement where the Lot Size Map specifies a minimum lot size of greater than 5 hectares. • Where a proposed allotment adjoins both an existing road and a new road within a subdivision, the existing road must be upgraded to the standard nominated by Refer to Council's current version of the Engineering Design Minimum Standards. • A road within a residential subdivision servicing 15 lots or more must include a constructed pedestrian footpath. • Subdivision layouts shall make provision for road connection to adjoining undeveloped land. • Subdivision design shall ensure that individual allotments are within 400 metres walking distance of a collector road. • Roads to be designed having regard to both the topography of the site and the requirements of stormwater overland flow paths.
Staged Subdivision	<ul style="list-style-type: none"> • Where subdivision is proposed to be carried out in a number of stages, these shall be identified, and information supplied as to the manner in which staging of all infrastructure will occur (roads, water, sewer and stormwater drainage).

Future Development	<ul style="list-style-type: none"> The submitted plans must nominate lots within a proposed subdivision that are intended for future dual occupancy, multi dwelling housing developments and/or further subdivision.
Cul-de-sac	<ul style="list-style-type: none"> Radius of a cul-de-sac bowl in a residential subdivision shall not be less than 10 metres. Design must accommodate stormwater drainage overland flow paths. Alternate cul-de-sac configuration is not permitted, e.g. "hammer-head" or "Y" shapes. Temporary cul-de-sac heads should be within the road reserve. They are not permitted to be located within private property. Temporary cul-de-sac heads on Collector Roads (or major roads through a development) must cater for 12.5m heavy rigid vehicles such as school buses and garbage trucks.
Site Levels and Retaining Walls	<ul style="list-style-type: none"> Site and/or elevation plans must include existing and finished ground levels at Australian Height Datum (AHD). Proposals for retaining walls must include top and bottom of wall height details (in AHD) and retaining wall locations and full extent must be shown on plans and associated elevations and cross sections. <p><i>NB: Retaining walls located on property boundaries must not result in adverse impacts on adjoining properties (e.g soil stabilisation, overlooking, drainage).</i></p>
Geology	<ul style="list-style-type: none"> The design process must give consideration to the potential impact of erosive soils, saline soils, soils of low wet strength, highly reactive soils and steep slopes and document how these constraints are addressed.
Landscaping Plan	<ul style="list-style-type: none"> Subdivision involving new road construction must provide a landscape plan and include street tree planting of suitable species and the design shall accommodate the retention of any mature trees and vegetation. Dual use drainage reserves must be designed to enhance recreational opportunities and visual amenity without compromising drainage function. Landscaping should aim to contribute to and maintain biodiversity corridors, to increase species diversity, and to reduce the impacts of pollution and climate change. Landscaping should aim to incorporate local indigenous species from 'Australian Plants Suitable for Tamworth Regional Council Areas' list. Street tree species shall be in accordance with Council's 'Urban Street Tree Management Plan'.
Environmental Values Locality Map	<ul style="list-style-type: none"> Where the subject land is greater than 2 hectares. The development application shall describe and map the existing environmental values of the site (e.g. vegetation, fauna, water) then outline how the subdivision addresses the hierarchy of environmental impact mitigation: <ul style="list-style-type: none"> avoidance; minimisation/mitigation; restore; then offset. <p><i>NB: Where the Biodiversity Conservation Act 2016 and Biodiversity Regulation 2017 applies to a development. Council encourages the inclusion of the Environmental Values Map but not to the extent where there is an inconsistency.</i></p>
Biodiversity Protection	<ul style="list-style-type: none"> A development application must be supported by an appropriate level of analysis consistent with Council policy and other legislative requirements (such as the Biodiversity Conservation Act 2016 and Biodiversity Regulation 2017). By avoiding either directly or indirectly impacting threatened species, populations and threatened ecological communities. Considerations must be given to the following: <ul style="list-style-type: none"> Native vegetation and threatened species habitats are to be retained in perpetuity on sites identified with high ecological value that ensures their ongoing viability and sustainability; Development should contribute to the maintenance of local habitats and connectivity between bushland remnants. To achieve this, corridors should be of a scale commensurate with the habitats they connect; Bushfire asset protection zones must not be in identified areas of key habitat and corridors and designed in accordance with the Planning for Bushfire Protection 2019; Development should ensure that off-site impacts into adjoining bushland are minimised, such as weed invasion, increased runoff and stormwater pollutants; continuous canopy and understorey planting along one boundary; or retention and revegetation of remnant bushland elements.

NB: The required treatment will depend upon the scale of the bushland remnants linked by the land or the quality of the remnants to be retained on site.

Site Access	<ul style="list-style-type: none"> Public road access is required to all lots. A right of carriageway, Crown Road, Forestry Road or Travelling Stock Route (TSR) are not acceptable as the primary access to an allotment and will only be allowed in extenuating circumstances. An entry gate must be installed at the time of subdivision to facilitate access to an allotment in Zones RU1, RU4, RU6 and E3. No direct access to arterial or sub-arterial roads shall be permitted where alternatives are available.
Lot Orientation	<ul style="list-style-type: none"> Where residential subdivision involves a road running north-south, allotments are to be designed to provide solar access for future development. Orientation shall minimise potential overshadowing impacts of existing and future buildings.
Open Space	<ul style="list-style-type: none"> Open space provision within residential subdivision will be determined compliance with the provisions of the Section 94 Plan or Site Specific Design Criteria. Where required, subdivision design must provide open space achieving the following criteria: <ul style="list-style-type: none"> Minimum area of 0.5ha; Buffered from main roads and identified hazards for improved safety; Safely accessible by pedestrian and cycleway links; Connectivity maximised between open space; Walkable access to highest number of the population; High passive surveillance opportunities; Minimum slope; and Provide complimentary uses of open space (drainage, conservation, cycleways etc) that ensures ongoing usability.
Construction Waste Management	<ul style="list-style-type: none"> All DAs for construction of a subdivision development must be accompanied by a Resource and Waste Management Plan (RWMP). The RWMP must consider reuse or disposal of existing site waste materials (including demolition materials, earthworks) and construction waste materials.
Garbage collection	<ul style="list-style-type: none"> Road design must accommodate the legal movement of garbage collection vehicles. Allotments are to allow for placement and servicing of garbage receptacles for collection within the alignment of that lot. Temporary turning facilities must be provided for incomplete roads (as a result of staging of a subdivision). The design must incorporate adequate all weather access turning area for garbage trucks as agreed by the contractor, and a safe turning distance in accordance with Council's Engineering Design Minimum Standards to prevent unnecessary large and small vehicle interaction in the vicinity of private lots and driveways.
Community Title Subdivision	<ul style="list-style-type: none"> Road design must accommodate the legal access and onsite movement of garbage collection vehicles. Community title subdivision of 5 or more lots must include community facilities that are shared between the residents of the development. It is not appropriate that this form of development be used as an alternative to strata title for subdivisions with 5 or more lots where the only shared component is a driveway. Community facilities may include a swimming pool, tennis court, vegetable gardens, barbeque area or similar.
Contamination	<ul style="list-style-type: none"> All subdivision development applications are to include consideration of potential land contamination.
Road Widths	<ul style="list-style-type: none"> Road widths are specified in the Tamworth Regional Council's current version of the Engineering Design Minimum Standards.

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- Bylong Road
(Refer to Figure 1)**
- Subdivision plans are to provide adequate space for future road upgrade works including:
 - Approximately 5-8 metre widening of sections of Warwick Road and Bylong Road.
 - Intersection upgrades along Warwick Road.
 - Intersection upgrades along Bylong Road.
 - All lots within the Arcadia and Bylong Road Precinct are to be serviced by reticulated water in accordance with the Development Servicing Plan.
 - All lots within the Arcadia and Bylong Road Precinct are to be serviced by connection to reticulated sewer in accordance with the Development Servicing Plan.
 - Subdivision plans need to provide infrastructure that makes provision for future downstream development in accordance with the adopted Stormwater Management Strategy.

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- Environmental effects**
- The application documentation shall identify any potential environmental impacts of the development and demonstrate how they will be mitigated. These impacts may relate to:
 - Traffic
 - Flood liability
 - Slope
 - Construction impacts
 - Solid and Liquid Waste
 - Air quality (odour and pollution)
 - Noise emissions
 - Water quality
 - Sustainability

-
- Soil and Erosion Control**
- Runoff shall be managed to prevent any land degradation including offsite sedimentation.
 - Reference shall be made to the NSW Governments *Managing urban stormwater: soils and construction, Volume 1* (available from Landcom), commonly referred to as "The Blue Book".
 - Cut and fill will be minimised and the site stabilised during and after construction.

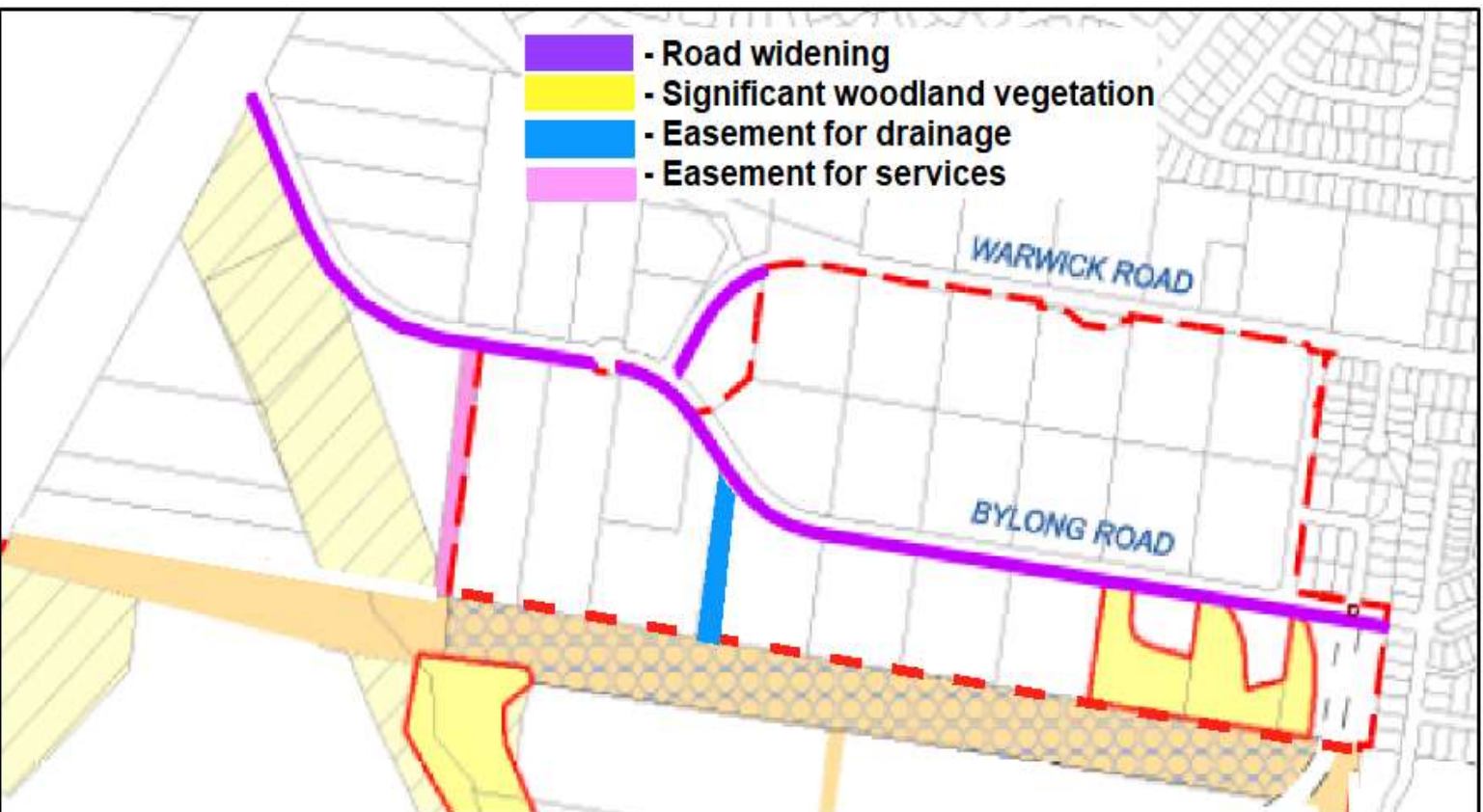
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- Noise**
- Where relevant, applications are to contain information about likely noise generation and the method of mitigation.

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- Aboriginal Cultural Heritage**
- Development applications must identify any areas of Aboriginal heritage value that are within or adjoining the area of the proposed development, including any areas within the development site that are to be retained and protected (and identify the management protocols for these).

NB: Consultation with the Tamworth Local Aboriginal Land Council (or relevant LALC) is recommended prior to the lodgement of a development application to identify the precise location of any Aboriginal heritage items within the locality.

NB: for guidance, refer to the NSW Office of Environment and Heritage's [Guide to Investigating, Assessing and Reporting on Aboriginal Cultural Heritage in New South Wales](#).

Figure 1 – Bylong Road





Tamworth Regional Development Control Plan 2010

STEP 2: TYPE OF DEVELOPMENT

Commercial/Retail Development Controls

These are the controls relating to commercial and retail developments. Please note, additional site-specific requirements may also apply to your development, see STEP 4 : SITE SPECIFIC.

Building Setbacks	<ul style="list-style-type: none"> No minimum setbacks to street frontage are specified. Where permissible in residential zones, average setbacks of adjacent properties apply. Side and rear setbacks must meet BCA requirements.
Height	<ul style="list-style-type: none"> No height restrictions. Refer Local Environmental Plan 2010 for Floor Space Ratio requirements.
Outdoor Lighting	<ul style="list-style-type: none"> Demonstrate compliance with <i>AS/NZS 11583.1 Pedestrian Area (Category P) Lighting and AS4282 Control of Obtrusive Effects of Outdoor Lighting</i>.
Outdoor Signage	<ul style="list-style-type: none"> A single business premises is permitted to have: <ul style="list-style-type: none"> one under awning sign, one top hamper sign, and one fascia sign, that do not project above or beyond that to which it is attached. One of which may be illuminated, but not flashing, moving or floodlit. Design and location of signage must be shown on plans with DA. Where there is potential for light spill from signage to adjoining properties, all illuminated signage shall be fitted with a timer switch to dim or turn off the light by 11pm each night. Signage must comply with <i>State Environmental Planning Policy (Industry and Employment) 2021</i> Chapter 3 and Schedule 5 Assessment Criteria
Design	<ul style="list-style-type: none"> Building facades shall be articulated by use of colour, arrangement of elements or by varying materials. Large expansive blank walls not permitted unless abutting a building on an adjoining allotment. Plans must show the location of all external infrastructure (including air conditioning units, plant rooms, ducting) and demonstrate how it will be screened from view from a public place or road. Development on corner sites shall incorporate splays, curves, building entries and other architectural elements to reinforce the corner as land mark feature of the street. Roofing materials should be non-reflective where roof pitch is greater than 17 degrees or not visible from a public road.
Post Supported Verandahs and Balconies and Under Awning Support Posts	<ul style="list-style-type: none"> Posts must be set back 1200 mm from the back of the kerb. New verandahs, balconies and awnings must complement the style, materials and character of the building being altered. Under awning support posts shall be of a single or uniform width from top to bottom and be painted black in colour. Under awning support posts will only be considered where it has been demonstrated that there is no alternative method available. All posts must be designed to prevent collapse in the event of a collision. Public liability insurance must be maintained to Council requirements Not to interfere with operation of or access to utility infrastructure.
Utilities and Services	<ul style="list-style-type: none"> Servicing strategy required to demonstrate the availability and feasibility of providing water, sewer and stormwater services appropriate for the scale and nature of development. Evidence of consultation with the Water Supply Authority and Roads Authority is to be provided. Applications must demonstrate adequate provision for storage and handling of solid wastes. Liquid Trade Waste Application and facilities are required where liquid wastes (excluding domestic waste from a hand wash basin, shower, bath or toilet) are to be discharged to Council's sewerage system. Buildings and structures are to be located clear of utility infrastructure. For sewer mains, structures are to be located a minimum of one metre plus the equivalent invert depth, whichever is greater, from the centreline of the main. See Council Policy "Excavating/Filling or Building Adjacent to or Over Existing Sewer Mains" for further detail. The developer is responsible to consult with Essential Energy, natural gas and a telecommunications carrier regarding the provision of services.

Parking, Traffic and Access	<ul style="list-style-type: none"> Refer to <i>Step 3: General Development Specifications for Parking, Traffic and Access Controls</i>
Health Consulting Rooms and Medical Centres on land zoned R1 in Tamworth	<ul style="list-style-type: none"> The proposed site for “health consulting rooms” or a “medical centre” shall not be within 400 metres of the areas bounded by Macquarie Street, Kable Avenue, East Street and the Great Northern Railway Line. (see figure below) The proposed site for a “medical centre” should be within 400m of a Hospital or adjoining a B1 Neighbourhood Centre. <p>(Refer to Figure 1)</p>
Brothels and Restricted Premises	<ul style="list-style-type: none"> Must be located at least 150m from any of the following: <ul style="list-style-type: none"> Existing dwelling; Residential zone; Place of worship; Any place designated for and utilised by children (e.g. child care centre, community facility, educational establishment, entertainment facility, recreation area/facility); Any other sex services premises.
Site Levels and Retaining Walls	<ul style="list-style-type: none"> Site and/or elevation plans must include existing and finished ground levels at Australian Height Datum (AHD). Proposals for retaining walls must include top and bottom of wall height details (in AHD) and retaining wall locations and full extent must be shown on plans and associated elevations and cross sections. <p><i>NB: Retaining walls located on property boundaries must not result in adverse impacts on adjoining properties (e.g soil stabilisation, overlooking, drainage).</i></p>
Geology	<ul style="list-style-type: none"> The design process must give consideration to the potential impact of erosive soils, saline soils, soils of low wet strength, highly reactive soils and steep slopes and document how these constraints are addressed.
Landscaping	<ul style="list-style-type: none"> Landscaping or shade structures shall be provided in outdoor car parking areas where >10 spaces are required, to provide shading and soften the visual impact of large hard surfaces. Edging to be provided to retain mulch and protect the landscaping from damage from vehicles. Landscaping shall comprise only low maintenance, drought and frost tolerant species. Development design shall accommodate the retention of any mature trees and vegetation. Where mature trees and vegetation are removed, replacement landscaping should aim to incorporate local indigenous species from ‘Australian Plants Suitable for Tamworth Regional Council Areas’ list. Location and grouping of plant types shall be multi-functional providing privacy, security, shading and recreation functions.
Fire Safety	<ul style="list-style-type: none"> A development application for a change of building use for an existing building where no building works are proposed. Consideration must be given whether the fire protection and structural capacity of the building will be appropriate to the building’s proposed use.
Flood Affected Land	<ul style="list-style-type: none"> Refer to Step 3: General Development Specifications for Development on Flood Affected Land
Environmental effects	<ul style="list-style-type: none"> The application documentation shall identify any potential environmental impacts of the development and demonstrate how they will be mitigated. These impacts may relate to: <ul style="list-style-type: none"> Traffic Flood liability Slope Construction impacts Solid and Liquid Waste Air quality (odour and pollution) Noise emissions Water quality Sustainability

Soil and Erosion Control	<ul style="list-style-type: none"> • Runoff shall be managed to prevent any land degradation including offsite sedimentation. • Reference shall be made to the NSW Governments <i>Managing urban stormwater: soils and construction, Volume 1</i> (available from Landcom), commonly referred to as “The Blue Book”. • Cut and fill will be minimised and the site stabilised during and after construction. • Arrangements in place to prompt revegetation of earthworks to minimise erosion.
Construction and Operational Waste Management	<ul style="list-style-type: none"> • All DAs for construction of commercial development must be accompanied by a Resource and Waste Management Plan (RWMP). • The RWMP must consider reuse or disposal of existing site waste materials (including demolition materials, earthworks) and construction waste materials. • The RWMP must consider operational waste management with consideration of the ongoing waste storage controls
Ongoing Waste Storage	<ul style="list-style-type: none"> • Provide suitable and sufficient waste storage facilities, this includes DA plans/drawings showing: <ul style="list-style-type: none"> e) storage space and layout for bins and skips f) waste collection point(s) for the site; g) path of access for users and collection vehicles; and h) layout and dimensions required to accommodate collection vehicles when on-site collection is required • Ensure the waste storage facilities are easily accessible for all users and have step free and unobstructed access to the collection point(s). • Locate the waste storage facilities to minimise odour and acoustic impacts on the habitable rooms of the proposed development, adjoining and neighbouring properties. • Provide sufficient storage space within each commercial/retail space to hold a single day’s waste and to enable source separation of recyclables. • Consult with Council and the NSW EPA with regards to any proposed storage and collection of special wastes (e.g. medical or hazardous chemical wastes).
Noise	<ul style="list-style-type: none"> • Where relevant, applications are to contain information about likely noise generation and the method of mitigation.
Urban Heat Island Effect	<ul style="list-style-type: none"> • Please refer Urban Heat Island Effect controls in <i>Step 3: General Development Specifications - other Types of Development Controls</i>

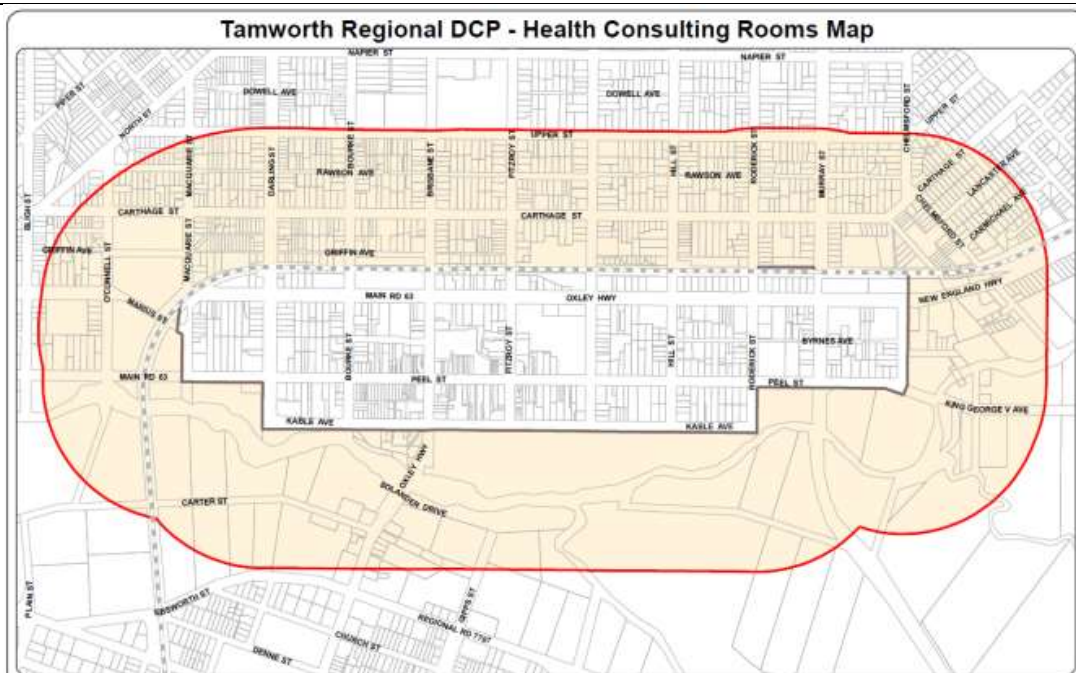
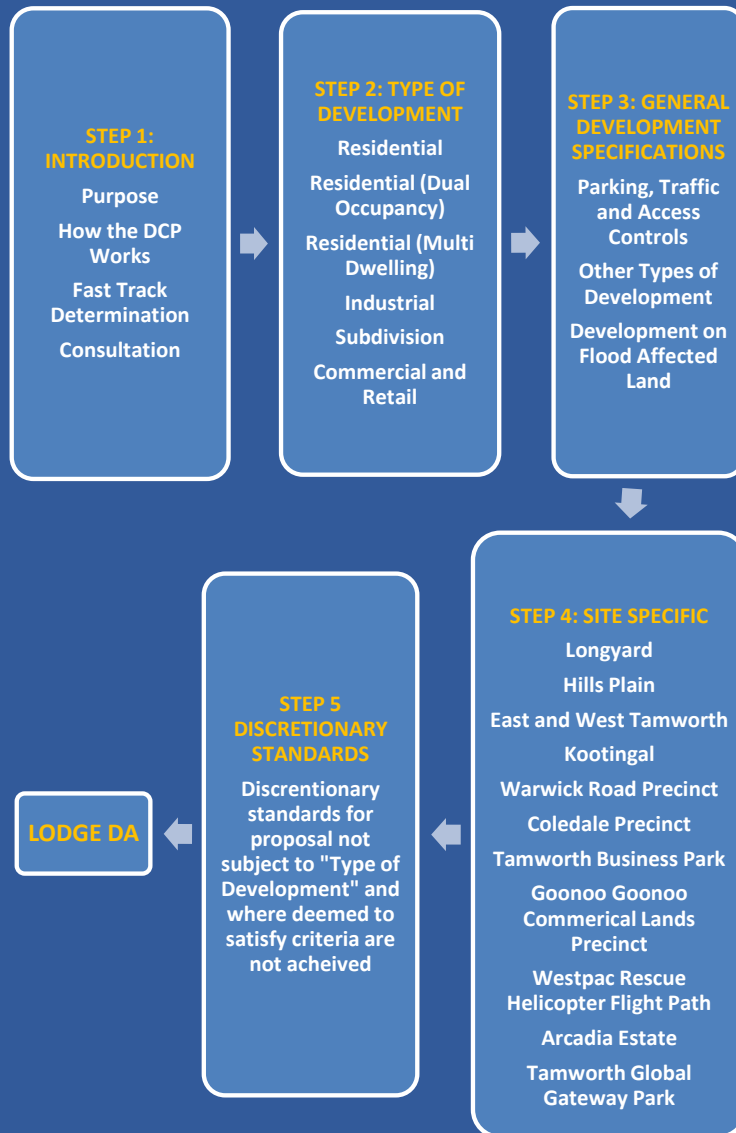


Figure 1 – Health Consulting Rooms Map

STEP 3: GENERAL DEVELOPMENT SPECIFICATIONS



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Tamworth Regional Development Control Plan 2010
STEP 3: GENERAL DEVELOPMENT SPECIFICATIONS
Parking, Traffic and Access Controls

These are the environmental controls relating to all developments. Please note, additional site specific requirements may also apply to your development, see STEP 4 : SITE SPECIFIC.

“Mapped Areas” – Parking Requirements

- General**
- The Parking Requirements Schedule contained at the end of this chapter includes new parking controls for land in the “Mapped Areas” which are the Tamworth Central Business District (CBD), Bridge Street and North Tamworth localities.
 - The Aim of having reduced parking requirements in the “Mapped Areas” for specific land uses is to promote housing density close to CBD amenities, commercial investment and increase opportunities to provide and promote different modes of transport.
 - Refer to the Maps at the end of this chapter for Tamworth CBD, Bridge Street and North Tamworth to determine whether the subject site is located within a “Mapped Area” and subject to reduced parking requirements for certain land uses.

Residential

- General**
- Dimensions to meet *AS2890.1 Parking Facilities Off Street Carparking*.
 - Manoeuvring areas within the development must be designed to accommodate a B99 vehicle under *AS2890.1 Parking Facilities Off Street Parking*.
 - Swept paths for a B99 vehicle must be shown on plans prepared to accompany the DA
 - All parking and manoeuvring areas to be hardstand (pavers or concrete).
 - Driveways to be located a minimum of 6 metres from an intersection measured from the tangent point of the kerb return.
 - Developments requiring ≥4 car spaces are to provide adequate turning dimensions to allow all vehicles to enter and leave the site in a forward direction.
 - All weather 2WD access is required to the dwelling for a B99 vehicle under AS2890.1.
 - A long section of the driveway must be prepared to accompany the DA if the natural ground level is sloping to confirm that the cross fall of the footpath will not be altered.
 - Onsite turning areas must be provided where fronting a road classification of collector or greater.

- Electric Vehicle Charging**
- Provision for electric vehicle chargers in accordance with the National Construction Code (Australian Building Codes Board) must be demonstrated and shown on submitted plans (where required).

NB: refer to the *NSW Electric and Hybrid Vehicle Plan* with respect to making buildings ‘EV Ready’.

End of Trip Facilities (bicycle parking and shower facilities)	Proposed Use	Resident	Visitor
	Shop top housing, multi-dwelling housing, residential flat buildings & shared accommodation (e.g. boarding housing / group homes or the like)	1 bicycle space per 4 units (or 4 rooms for shared accommodation)	1 bicycle space per 20 units/rooms
	Serviced Apartments	1 bicycle space per 4 staff	1 bicycle space per 20 units / rooms

- The location, design and construction of bicycle facilities is to comply with *AS2890.3 – Parking facilities – Bicycle parking*
- Bicycle parking for residents and/or staff must be located close to building entry/exits and lifts and be given priority over other parking uses to ensure they are well located, designed and used.

Commercial

- Parking**
- Where calculation of parking spaces required results in a fraction of a space, the total required number of spaces will be the next highest whole number.
 - Parking and traffic requirements will be based on consideration of:
 - likely peak usage times;
 - the availability of public transport;
 - likely demand for off street parking generated by the development;
 - existing traffic volumes on the surrounding street network; and
 - efficiency of existing parking provision in the location.
 - Comply with *AS2890.1 Parking Facilities Off Street Car Parking* and *AS2890.6 Parking Facilities Off Street Parking for People with a Disability*
 - Manoeuvring areas within the development must be designed to accommodate a B99 vehicle under *AS2890.1 Parking Facilities Off Street Parking*.
 - Where existing premises are being redeveloped or their use changed, the following method of calculation shall apply:-
 - (a) Determine the parking requirements of the previous or existing premises in accordance with any existing development consent. Otherwise the rate contained in *Parking Requirements Schedule* should be applied.
 - (b) Determine the parking requirement of the proposed development in accordance with *Parking Requirements Schedule*;
 - (c) Subtract the number of spaces determined in (a) from the number of spaces calculated in (b);
 - (d) The difference calculated in (c) represents the total number of parking spaces to be provided either in addition to the existing on-site carparking or as a cash-in-lieu contribution to Council where applicable.
 - The verge for the frontage of the development is to be constructed of hardstand materials to facilitate safe, low-maintenance pedestrian access. Details to accompany the development application.
 - All vehicles must be able to enter and exit the site in a forward direction.
 - Design must demonstrate no conflict between pedestrian, customer vehicles and delivery vehicles.
 - Wearing surfaces for access driveways, parking areas, loading/unloading facilities and associated vehicle manoeuvring areas relative to the design vehicle.
 - Unsealed vehicle movement areas are not acceptable due to environmental management impacts.
 - Loading bay(s) must be sited to avoid use for other purposes such as customer parking or materials storage and be line marked and signposted.
 - Site access not permitted:
 - Close to traffic signals, intersection or roundabouts with inadequate sight distances;
 - Opposite other large developments without a median island;
 - Where there is heavy and constant pedestrian movement on the footpath;
 - Where right turning traffic entering the site may obstruct through traffic.
 - Separate, signposted entrance and exit driveways are required for developments requiring more than 50 parking spaces or where development generates a high turnover of traffic.
 - The number of access points from a site to any one street frontage is limited to 1 ingress and 1 egress.
 - Driveways must be provided in accordance with AS 2890.1 Parking Facilities.
 - Nominate that a pedestrian footpath be constructed for the full frontage of a development to a width consistent with any connecting pedestrian footpath or where there is no connecting footpath in accordance with Council's current version of the Engineering Design Minimum Standards.

- Development in Residential Zones**
- Minimum road pavement width for any commercial development in a residential zone is 11 metres.
 - Footpath connectivity shall be provided to existing footpath network.

- Electric Vehicle Charging**
- Provision for electric vehicle chargers in accordance with the National Construction Code (Australian Building Codes Board) must be demonstrated and shown on submitted plans (where required).

NB: refer to the [NSW Electric and Hybrid Vehicle Plan](#) with respect to making buildings 'EV Ready'.

End of Trip Facilities (bicycle parking and shower facilities)	Proposed Use	Resident	Visitor
		New commercial, retail development / use	1 space per 15 car parking spaces

- The location, design and construction of bicycle facilities is to comply with AS2890.3 – *Parking facilities – Bicycle parking*
- Bicycle parking for staff must be located close to building entry/exits and lifts and be given priority over other parking uses to ensure they are well located, designed and used.
- Provisions must be made for suitable facilities including bike rack, storage, shower and changing facilities for staff.

Industrial

- Parking**
- Where calculation of parking spaces required results in a fraction of a space, the total required number of spaces will be the next highest whole number.
 - Parking and traffic requirements will be based on consideration of:
 - likely peak usage times;
 - the availability of public transport;
 - likely demand for off street parking generated by the development;
 - existing traffic volumes on the surrounding street network; and
 - efficiency of existing parking provision in the location.
 - Comply with AS2890.1 *Parking Facilities Off Street Car Parking* and AS2890.6 *Parking Facilities Off Street Parking for People with a Disability*
 - Manoeuvring areas within the development must be designed to accommodate a B99 vehicle under AS2890.1 *Parking Facilities Off Street Parking*.
 - Where existing premises are being redeveloped or their use changed, the following method of calculation shall apply:-
 - Determine the parking requirements of the previous or existing premises in accordance with any existing development consent. Otherwise the rate contained in the *Parking Requirements Schedule* should be applied.
 - Determine the parking requirement of the proposed development in accordance with *Parking Requirements Schedule*;
 - Subtract the number of spaces determined in (a) from the number of spaces calculated in (b);
 - The difference calculated in (c) represents the total number of parking spaces to be provided either in addition to the existing on-site carparking or as a cash-in-lieu contribution to Council where applicable.
 - Portion of customer parking to be provided convenient to the public entrance.

- Traffic and Access**
- A Traffic Assessment is required to demonstrate the adequacy of:
 - road network,
 - geometric design for intersections, including pavement impacts,
 - site access,
 - loading/unloading facilities, and
 - safe on-site manoeuvring for largest design vehicle
 - wearing surfaces for access driveways, parking areas, loading/unloading facilities and associated vehicle manoeuvring areas relative to the design vehicle.
 - Areas that experience regular movement of vehicles, including (but not limited to) customer and staff carparking must be sealed
 - Laydown / outdoor storage areas do not need to be sealed. Permanent Sediment and Erosion Control measures must be installed.
 - All vehicles must be able to enter and exit the site in forward direction.
 - Site access not permitted:
 - Close to traffic signals, intersection or roundabouts with inadequate sight distances;
 - Opposite other large developments without a median island;
 - Where there is heavy and constant pedestrian movement on the footpath;
 - Where right turning traffic entering the site may obstruct through traffic.
 - Separate signposted entrance and exit driveways are required for developments requiring more than 50 parking spaces or where development generates a high turnover of traffic.
 - The number of access points from a site to any one street frontage is limited to 1 ingress and 1 egress.
 - Driveways and circulation roadways must be provided in accordance with AS2890.1 *Parking Facilities*.

- Loading / unloading Facilities**
- Adequate space and facilities are required to be provided wholly within the site.
 - Loading and delivery bays must be designed to allow vehicles to enter and exit the site in a forward direction.
 - Loading bay(s) must be sited to avoid use for other purposes such as customer parking or materials storage and be line marked and signposted.

- Electric Vehicle Charging**
- Provision for electric vehicle chargers in accordance with the National Construction Code (Australian Building Codes Board) must be demonstrated and shown on submitted plans (where required).

NB: refer to the [NSW Electric and Hybrid Vehicle Plan](#) with respect to making buildings 'EV Ready'.

End of Trip Facilities (bicycle parking and shower facilities)	Proposed Use	Resident	Visitor
		New industrial development / use	1 space per 15 car parking spaces

- The location, design and construction of bicycle facilities is to comply with *AS2890.3 – Parking facilities – Bicycle parking*
- Bicycle parking for staff must be located close to building entry/exits and lifts and be given priority over other parking uses to ensure they are well located, designed and used.
- Provisions must be made for suitable facilities including bike rack, storage, shower and changing facilities for staff.

PARKING REQUIREMENTS SCHEDULE

Schedule of Parking Requirements

LAND USE	PARKING (REFER TO COUNCIL'S MAPS)		COMMENTS
	UNMAPPED AREAS	MAPPED AREAS (INSIDE TAMWORTH CBD, ALONG BRIDGE STREET AND NORTH TAMWORTH*)	
Backpackers / bed and breakfast accommodation	<p><u>Backpackers accommodation</u> Minimum 1 space for each 5 occupants/lodgers PLUS Minimum 1 space for any resident manager, PLUS Minimum 1 space for each 2 employees.</p> <p><u>Bed and breakfast / farm stays / short term holiday lets / eco-tourist facilities</u> Minimum 1 space per visitor bedroom PLUS Minimum 2 spaces for permanent residents (if applicable)</p>		
Boarding house	As per the relevant requirements set out in State Environmental Planning Policy (Housing) 2021		The provisions of the State Environmental Planning Policy (Housing) 2021 apply to this type of development.
Brothel	Minimum 1 space per staff working at any one time PLUS 1 space per room		
Co-living	As per the relevant requirements set out in State Environmental Planning Policy (Housing) 2021		The provisions of the State Environmental Planning Policy (Housing) 2021 apply to this type of development.
Community facility (Including hall, neighbourhood centre, youth centre, or similar)	Minimum 1 space per 20m ² , whichever is greater Additional parking is dependent on location and size of centre and nature of activities provided 1 space is required for service vehicles		
Speciality Retail Premises and Industrial Retail Premises	1 space per 45m ² GFA		Parking must be provided to satisfy the peak cumulative parking requirements of the development as a whole. A comparison survey of similar development should be provided with the development application. Calculations will be refined according to the specific characteristics of the proposed development.

LAND USE	PARKING (REFER TO COUNCIL'S MAPS)		COMMENTS
	UNMAPPED AREAS	MAPPED AREAS (INSIDE TAMWORTH CBD, ALONG BRIDGE STREET AND NORTH TAMWORTH*)	
Vehicle sales or hire premises	Minimum 0.75 space per 100m ² site area plus 4 spaces per work bay (for vehicle servicing) Note: Stacked parking is permissible but not for customer parking.		Customer parking spaces should be ready accessible and should not be used for the display of vehicles or other merchandise or for loading/unloading of trucks.
Camp / Caravan Site	As per the relevant requirements set out in the Local Government (Manufactured Home Estates, Caravan Parks, Camping Grounds and Moveable Dwellings) Regulation 2021		The visitor parking area should be appropriately located and signposted.
Change of Use	No additional parking is required for a change of use involving commercial uses on existing sites that are less than 100m ² GFA. Where a development involves a change of use or alterations/additions greater than 100m ² GFA, that would generate a greater car parking requirement than the existing use as calculated with the <i>DCP car parking requirements</i> , additional parking is required to be provided equivalent to the difference between the two parking requirements.	No additional parking is required for a change of use involving commercial uses on existing sites that are less than 150m ² GFA Where a development involves a change of use or alterations/additions greater than 150m ² GFA, that would generate a greater car parking requirement than the existing use as calculated with the <i>DCP car parking requirements</i> , additional parking is required to be provided equivalent to the difference between the two parking requirements.	Note: Any historical deficiency in parking for the existing use can be applied as a credit to the parking calculations. In the case of substantial alterations and additions that effectively involve the virtual reconstruction of a building, the historical deficiency will not be permitted to be credited to the parking calculation.
Child Care Centre	Minimum 1 space per 4 children Minimum Road Width = 11m		This calculation includes staff parking. Staff parking spaces shall be designed in accordance with the requirements of user class 1 at a minimum, as per AS/NZS 2890.1 (as amended). The carpark design must include dedicated drop-off/pick-up bays. Short-stay, high turnover visitor parking spaces shall be designed in accordance with the requirements of user class 3A as per AS/NZS 2890.1 (as amended).

LAND USE	PARKING (REFER TO COUNCIL'S MAPS)		COMMENTS
	UNMAPPED AREAS	MAPPED AREAS (INSIDE TAMWORTH CBD, ALONG BRIDGE STREET AND NORTH TAMWORTH*)	
Commercial / Business Premises <i>(Office premises, financial institutions, hairdressers, real estate agents, etc)</i>	Minimum 1 space per 40m ² GFA		Provision should be made for the movement and on-site loading/unloading of service vehicles as appropriate.
Drive-Through Take-Away Food and drink Shop	<p>Takeaway food and drink (Drive-through only no seating)</p> <p>1 space per 15m² GFA</p> <p>Queuing for 8 car lengths. (minimum)</p> <p>Plus minimum of 1 waiting bay</p> <p>Takeaway food and drink (Drive-through with seating)</p> <p>1 space per 9m² GFA including outdoor dining and play areas</p> <p><u>Medium traffic generation and queuing demand:</u></p> <p>Queuing for 8 car lengths, min. 4 before order point</p> <p>Plus minimum of 1 waiting bay</p> <p><u>High traffic generation and queuing demand:</u></p> <p>Queuing for 12 car lengths, min. 6 before order point</p> <p>Plus minimum of 2 waiting bays</p>		The assumed traffic generation and queuing demand must be supported and agreed by Council in a Traffic Impact Assessment (TIA).
Dual Occupancy	<p>Up to 2 bedrooms</p> <p>Minimum 1 off-street covered car parking space on the property for each dwelling located entirely on the subject land.</p> <p>Dwellings of 3 or more bedrooms</p> <p>minimum of 2 car spaces for each dwelling (minimum one enclosed space). May include use of the driveway area in front of any garage/carport for the second space but must be entirely on the subject land (stacked parking) and behind the front building line.</p>		<p>For the purposes of this calculation “bedrooms” will include rooms capable as being occupied as a bedroom, included a study, craft room and the like.</p> <p>Carports must share the same roofline, design and materials as the primary dwelling.</p>
Dwelling House	<p>Up to 2 bedrooms</p> <p>Minimum 1 space per dwelling</p> <p>Dwellings of 3 or more bedrooms</p> <p>Minimum 2 spaces per dwelling</p>	<p>Up to 3 bedrooms</p> <p>Minimum 1 space per dwelling</p> <p>Dwellings of 4 or more bedrooms</p> <p>Minimum 2 spaces per dwelling</p>	<p>Parking of 1 vehicle behind one another in a stacked arrangement is acceptable but must be entirely on the subject land (stacked parking).</p> <p>Carports must share the same roofline, design and materials as the primary dwelling.</p>

LAND USE	PARKING (REFER TO COUNCIL'S MAPS)		COMMENTS
	UNMAPPED AREAS	MAPPED AREAS (INSIDE TAMWORTH CBD, ALONG BRIDGE STREET AND NORTH TAMWORTH*)	
Educational Establishments	<p>Primary Schools 1 space per staff member (peak staff level) PLUS 1 space per 50 students PLUS adequate student set down/pick up areas for students.</p> <p>Secondary Schools 1 space per 2 staff members PLUS 1 space per 50 students PLUS 1 space per 10 students (17 years of age or older) PLUS adequate student set down/pick up areas for students.</p> <p>Tertiary Schools & Colleges Subject to individual parking assessment inclusive of considerations regarding parking and turning areas for any auditoriums or sportsgrounds.</p>		Adequate bus collection and turning areas will need to accommodate for all educational establishments
Entertainment facility	Minimum 1 space per 10m ² GFA OR Minimum 1 space per 7 seats, whichever is greater		
Function Centres	1 space per 6.5m ² GFA OR 1 space per 5 seats, whichever is greater	1 space per 8m ² GFA OR 1 space per 6 seats, whichever is greater	
Group Home	Minimum 2 off-street car parking spaces must be provided on the site per group home is erected OR As per the relevant requirements set out in State Environmental Planning Policy (Housing) 2021		The provisions of the State Environmental Planning Policy (Housing) 2021 apply to this type of development.
Hardware and Building Supplies	Minimum 1 space per 80m ² GFA		

Health Consulting Rooms	1 space per FTE staff PLUS 3 visitor spaces per FTE practitioner		If it can be shown that not all surgeries will be in concurrent operation, consideration may be given to reducing the parking provision for patients. Parking areas for patients are to be located at the front of the development or in a location which will encourage patients to use the parking area rather than the adjoining street.
Home Activity	Minimum 1 space in addition to the dwelling requirements		This requirement may be either waived or increased by Council depending on the characteristics of the home activity and the number of persons involved.
Hotel	Minimum 1 space per accommodation unit, PLUS minimum 1 space for every 2 persons employed in connection with the development and on duty at any one time If an ancillary restaurant or pub is integrated within the hotel, the ancillary uses are to refer to their specific parking rates and a reduction of 20% may be applied to their calculated parking requirements	Minimum 0.5 space per accommodation unit, PLUS minimum 1 space for every 2 persons employed in connection with the development and on duty at any one time If an ancillary restaurant or pub is integrated within the hotel, the ancillary uses are to refer to their specific parking rates and a reduction of 30% may be applied to their calculated parking requirements	Proposed hotel development will be compared to similar existing developments, noting the existing supply of, and demand for parking in the area and of the peak parking periods of individual facilities within the hotel. If a function room/nightclub is included, parking will be required to meet peak demands. Accommodation must have at least 10 rooms to enable any ancillary discount.
Housing for Seniors <i>(a) Self-contained units (subsidised)</i>	As per the relevant requirements set out in State Environmental Planning Policy (Housing) 2021		
<i>(b) Self-contained units (resident funded developments)</i>	As per the relevant requirements set out in State Environmental Planning Policy (Housing) 2021		
<i>(c) Hostel, Nursing and Convalescent Home</i>	As per the relevant requirements set out in State Environmental Planning Policy (Housing) 2021		

<p>Industry (includes light industry and heavy industry)</p>	<p><u>Industrial floor space</u> 1 space per 100m² (including mezzanine storage)</p> <p><u>Warehouse</u> 1 space per 300m² (including mezzanine storage)</p> <p><u>Local distribution/warehouse units (e.g. Industrial unit complex or business park complex in E3, E4 and E5 zone)</u> 1 space per 75m² (including mezzanine storage)</p> <p><u>Ancillary office space</u> Minimum 1 space per 40m²</p> <p><u>Ancillary retail space</u> Minimum 1 space per 30m²</p>		<p>On-site truck parking spaces should be provided for each vehicle present at any one time excluding those vehicles in loading docks. Under no circumstances is the parking of trucks on public streets acceptable.</p>
<p>Manufactured Home Estate</p>	<p>As per the relevant requirements set out in the Local Government (Manufactured Home Estates, Caravan Parks, Camping Grounds and Moveable Dwellings) Regulation 2021</p>		<p>The visitor parking area should be appropriately located and signposted.</p>
<p>Medical Centre</p>	<p>3 spaces per practitioner PLUS 1 space per FTE employee OR 3 spaces per surgery, treatment room, consultation room, whichever is greater</p>		<p>The 3 spaces per practitioner include 2 patient car spaces.</p> <p>Additional land uses will be considered under elements are assessed under the separate retail parking rate.</p>
<p>Shop top housing</p>	<p><u>Shop top housing Residential Component</u> <u>Up to 3 bedrooms</u> minimum 1 space per dwelling <u>Dwellings of 4 or more bedrooms</u> minimum 2 spaces per dwelling</p> <p><u>Commercial Component</u> Calculated based on relevant land use parking rate contained in this table.</p>	<p><u>Shop top housing Residential Component</u> <u>1-2 Bedrooms</u> 0 spaces required <u>Dwellings of 3 or more bedrooms</u> minimum 1 space per dwelling</p> <p><u>Commercial Component</u> Calculated based on relevant land use parking rate contained in this table.</p>	<p>Peak retail parking and visitor parking times is not likely to clash, residential visitors will be able to utilise the retail parking spaces.</p> <p>Change of uses will have parking implications, and since any minimum parking requirements would likely be rounded up, it may result in a single shop top dwelling requiring a parking space)</p> <p>NB: Does not apply to shop top housing that is defined as a residential flat building (buildings which contain 3 or more dwellings)</p>

Motel (including serviced apartments)	Minimum 1 space per accommodation unit, PLUS minimum 1 space for every 2 persons employed in connection with the development and on duty at any one time		If a restaurant and/or function room is to be included, additional parking will be required at the adopted rate for such facilities. Council is willing to review this requirement if it can be demonstrated that the time of peak demand for parking at each facility does not coincide or if the facilities will primarily serve motel customers.
Multi Dwelling Housing	<p>Residents 1 - 2 bedrooms - Minimum 1 space per dwelling Minimum 1 off-street covered car parking space per dwelling.</p> <p>3+ bedrooms - Minimum 2 spaces per dwelling minimum of 2 car spaces for each dwelling (minimum one enclosed space)</p> <p>Visitor Minimum 1 space per 5 units or part thereof</p>	<p>Residents 1 - 3 bedrooms - Minimum 1 space per dwelling Minimum 1 off-street covered car parking space per dwelling</p> <p>4+ bedrooms - Minimum 2 spaces per dwelling minimum of 2 car spaces for each dwelling (minimum one enclosed space)</p> <p>Visitor Maximum 1 space per 5 units or part thereof</p>	Turning facilities should be provided on site so that vehicles always leave the site in a forward direction. Of the resident parking spaces, one space per unit should be dedicated to specific units. Visitor parking spaces must be clearly designated and readily accessible. Appropriate signposting should be provided at the entrance to the site.
Place of Public Worship	Minimum 1 space per 20m ² gross floor area OR Minimum 1 space per 10 seats, whichever is the greater		
Pub	Minimum 1 space per 10m ² GFA (including outside seating/ beer garden areas).	*Tamworth CBD and Bridge Street areas only Minimum 1 space per 15m ² GFA (including outside seating/ beer garden areas).	*Elsewhere, the parking rates for unmapped areas apply
Recreation Facility <i>Squash Courts</i> <i>Tennis Courts</i> <i>Bowling Alleys</i>	Minimum 3 spaces per court Minimum 3 spaces per court Minimum 3 spaces per court		Where various facilities are provided within one development, Council may consider relaxing the parking requirements where peak usage times do not coincide or where dual and complementary usage of the common off-street parking area is anticipated.
<i>Bowling Greens</i>	Minimum 30 spaces for the first green PLUS 15 spaces for each additional green	Minimum 20 spaces for the first green PLUS 5 spaces for each additional green	
<i>Gymnasiums</i>	Minimum 1 space per 15m ² GFA	Minimum 1 space per 30m ² GFA	

Registered Club	Minimum 1 space per 10m ² GFA (including outside seating/ beer garden areas)	Parking must be provided to satisfy the peak cumulative parking requirements of the development as a whole. Council may consider relaxing this requirement depending on the characteristics of the proposed development. For this purpose, a comparison survey of clubs in similar localities should be provided with the development application.
Residential flat buildings	<p>Residents</p> <p>1 - 2 bedrooms - Minimum 1 space per dwelling</p> <p>3+ bedrooms - Minimum 2 spaces per dwelling</p> <p>Visitor</p> <p>Minimum 1 space per 5 dwellings</p>	<p>Residents</p> <p>1 bedroom - Minimum 0.6 space per dwelling</p> <p>2+ bedrooms - Minimum 1 space per dwelling</p> <p>Visitor</p> <p>Minimum 1 space per 5 dwellings</p>
Restaurants or Café	1 space per 10m ² GFA	Minimum 1 space per 20m ² GFA
Retail Plant Nursery including landscape and garden supplies.	Minimum 15 spaces OR Minimum 0.5 spaces per 100m ² of site area, whichever is greater	The parking requirement may be reduced where the development is located in a business zone in close proximity to a public off-street parking area and it can be demonstrated that peak demand for the restaurant will not coincide with peak demand for the public parking area. Consideration will also be given to reducing the rate for certain development (e.g.: coffee shops, cafes, milk bars, etc) which primarily operate during 9:00am to 5:00pm on weekdays and Saturday mornings, where peak demand for the restaurant will be ancillary to the parking demand generated by surrounding business premises or shops. A food outlet which provides no seating will be assessed as a "shop".
Roadside Stall	Minimum of 4 off-street parking spaces	Adequate on-site loading/unloading facilities for service vehicles must be provided for all retail development. Separate driveways and circulation systems should be provided for service and customer vehicles wherever possible.

<p>Transport Depot / Truck Depot</p>	<p>Based on individual assessment</p>						<p>Provision should be made for fleet vehicles, visitor and employee vehicles and contract/operator vehicles. Under no circumstances is the parking of trucks on a public street acceptable. Driveways should be designed in accordance with the type of road frontage, the number of parking spaces and service bays served and the type of vehicles that will enter the terminal. Consideration should also be given to providing adequate access, parking and manoeuvring space for B-Doubles.</p>
<p>Self-storage</p>	<p>MLA</p>	<p>Office Parking</p>	<p>Storage Area Parking*</p>	<p>Staff Parking</p>	<p>Trailer/Ute Parking</p>	<p>Total Parking</p>	<p>*Ranch style sites will not require designated storage area parking as vehicles in these sites will park in aisles adjacent to their storage units; similarly, 'mixed' sites may require less designated storage area parking if they have a significant number of drive up storage units in a ranch style arrangement.</p> <p>Staff vehicle parking can be located in either the office or storage area car parking area.</p>
<p>0-3,000m²</p>	<p>1</p>	<p>2</p>	<p>2</p>	<p>1</p>	<p>6</p>		
<p>3,000m²-6,000m²</p>	<p>2</p>	<p>5</p>	<p>2</p>	<p>1</p>	<p>10</p>		
<p>6,000m²-9,000m²</p>	<p>3</p>	<p>5</p>	<p>2</p>	<p>1</p>	<p>11</p>		
<p>Service Station</p>	<p>4 spaces per work bay (NB: stack parking acceptable for vehicle repair workshop) PLUS 1 space per 20m² GFA of a convenience store PLUS 1 space per 10m² GFA of a restaurant / café</p>						<p>These additional requirements should be cumulative but may be reduced where it can be demonstrated that the times of peak demand for the various facilities do not coincide. All parking should be clearly designated and located so as not to obstruct the normal sale of petrol and should minimise the potential for vehicular/pedestrian conflict. Consideration should be given to providing adequate manoeuvring space for caravans and B-Doubles.</p> <p>Driveways to petrol pumps must provide sufficient space for a minimum of 2 cars to queue for each pump. Space for refuelling tankers without impeding other traffic.</p>

Retail Premises (not including Industrial Retail Premises)		Where it can be demonstrated that the time of peak demand for parking associated with the proposed shopping centre and the existing adjacent land uses do not coincide, or where common usage reduces total demand, a lower level of parking provision might apply. If the proposed development is an extension of an existing retail development, additional parking demand could be less than proportional to the increase in floor area. A lower level of parking provision may apply where it can be demonstrated that the times of peak demand for parking coincide or where common usage reduces total demand.
<i>(a) Shops < 1000m² GFA</i>	1 space per 25m ² GFA	
<i>(b) Shops > 1000m² GFA (includes supermarkets, department stores, regional shopping complexes, etc)</i>	1 space per 16m ² GFA	
Vehicle Repair Station / Vehicle body repair workshop	Minimum 1 per 40m ² GFA OR Minimum 3 spaces per workshop bay, whichever is greater	
Veterinary Hospital	Minimum 3 spaces per practitioner PLUS Minimum 1 space per employee	If it can be shown that not all surgeries will be in concurrent operation, consideration may be given to reducing the parking provision for patients. Parking areas for patients are to be located at the front of the development or in a location which will encourage patients to use the parking area rather than the adjoining street. If treatment is provided to large animals, loading and parking provision for heavy vehicles and vehicles towing trailers is required.

Notes:

- Accessible parking for people with a disability must be provided in accordance with the BCA, AS/NZS 2890.6 and AS 1428.
- Where there are no specific rates listed above, refer to RTA Guidelines or demonstrate requirement for parking will be met based on a Traffic Assessment Report, prepared by a suitably-qualified consultant.
GFA – refer to dictionary of Tamworth Regional Local Environmental Plan 2010.

North Tamworth – Parking Mapped Area



Tamworth CBD – Parking Mapped Area



Bridge Street – Parking Mapped Area





Tamworth Regional Development Control Plan 2010

STEP 3: GENERAL DEVELOPMENT SPECIFICATIONS

Other Types of Development Controls

These are the environmental controls relating to all developments. Please note, additional site-specific requirements may also apply to your development, see STEP 4 : SITE SPECIFIC.

Outdoor Lighting	<ul style="list-style-type: none"> All developments shall demonstrate compliance with <i>AS4282 Control of Obtrusive Effects of Outdoor Lighting</i>. Sweeping lasers or searchlights or similar high intensity light for outdoor advertising or entertainment, when projected above the horizontal is prohibited. Illuminated advertising signs should be extinguished outside of operating hours, or 11pm, whichever is earlier.
Outdoor Advertising/ Signage	<ul style="list-style-type: none"> Where there is potential for light spill to adjoining properties, all illuminated signage shall be fitted with a timer switch to dim or turn off by 11pm each night. Signage must comply with <i>State Environmental Planning Policy (Industry and Employment) 2021</i> Chapter 3 and Schedule 5 Assessment Criteria. "Special promotional advertisements" may be installed in accordance with clause 25 of <i>SEPP 64 – Advertising and Signage</i> provided that the sign does not compromise any Public Art or the integrity of the space in which it is located in the main streets, public parks and gardens and major venues across the region's city, towns and villages. Advertising in rural zones may only: <ul style="list-style-type: none"> advertise a facility, activity or service located on the land; or direct travelling public to a tourist facility or building or place of scientific, historical or scenic interest within the area. Cannot include names of proprietary products or services or sponsoring businesses. Each sign must be sited a minimum distance of 1km from each other. External illumination to signs must be top mounted and directed downwards. The following types of signs are not acceptable: <ul style="list-style-type: none"> Portable signs within public footways and road reserves including variable message signs, A Frame and Sandwich Boards; Outdoor furniture (including chairs, bollards and umbrellas) advertising products such as coffee, alcohol or soft drink; A roof sign or wall sign projecting above the roof or wall to which it is affixed; Flashing or intermittently illuminated signs; Advertisements on parked motor vehicles or trailers (whether or not registered) for which the principal purpose is for advertising; Signs fixed to trees, lights, telephone or power poles; Signs which could reduce road safety by adversely interfering with the operation of traffic lights or authorized road signs; Any sign which would in the opinion of Council, be unsightly, objectionable or injurious to the amenity of the locality, any natural landscape, public reserve or public place; Numerous small signs and advertisements carrying duplicate information; and Overhead banners and bunting, except in the form of temporary advertisement.
Farm Stay Accommodation	<ul style="list-style-type: none"> Details of the activities offered should accompany the Development Application which must include some farm related activities. Guests are restricted a maximum of 14 days per visit.
Small Scale Renewables (Local or Regionally Significant)	<ul style="list-style-type: none"> An Environmental Values Locality Map must be prepared - Refer also to <i>Step 2: Type of Development - Subdivision Controls</i>. Biodiversity Protection controls contained in <i>Step 2: Type of Development - Subdivision Controls</i> must be addressed. All development applications for construction of a small-scale renewable development must be accompanied by a Resource and Waste Management Plan (RWMP). The RWMP must consider reuse or disposal of existing site waste materials (including demolition materials, earthworks) and construction waste materials. The RWMP must consider operational waste management with consideration of the ongoing waste storage controls and include a decommissioning plan for managing waste materials at the end of the project life. A Visual Impact Assessment must be prepared (including an assessment of night lighting) of all components of the development on surrounding residences and key locations, scenic or significant vistas and road corridors in the public domain.

- If the development is located on or adjacent to rural zoned land, provide an Agricultural Impact Assessment, prepared by a suitably qualified person which includes (but not limited to):
 - Land and soil capability mapping;
 - Consultation with neighbouring landholders to identify potential project impacts (if any) on immediately adjacent land;
 - A description of project impacts (if any) on immediately adjacent land; and
 - Measures to be implemented to reduce impacts on neighbouring agricultural land.

Urban Heat Island Effect

- For any development located within the CBD and Bridge Street Precinct Maps (See Figure 1 below) it must consider the implementation of the following “Greening” and “Non-Greening” Mechanisms as contained in the Tamworth Urban Heat Island Report – July 2022 which can be found at: www.tamworth.nsw.gov.au

Greening cooling mechanisms:

1. Increase tree canopy cover - Preserve and increase tree canopy cover (with appropriate native species) and landscaping to increase shading. Include plantings to shade impervious areas.
2. Non-tree ground plantings - Include appropriate native shrubs, grasses and ground cover plants in landscape design to reduce heat absorption of impervious surfaces
3. Increased irrigation of open spaces - Consider installing adequate irrigation to keep plants and ground cover alive to reduce heat absorption of impervious surfaces. Consider connecting irrigation to non-potable supply such as recycled water or rainwater tank
4. Green walls and roofs - Consider green walls and roofs in appropriate locations to reduce heat absorption
5. Revitalising disused infrastructure and vacant lots

Non-greening mechanisms:

6. Lighter roof and pavement colour - White roofs with low reflectivity can be up to 23°C cooler than black roofs reducing building operating energy costs. Cool coating can be added to existing dark roofs to cool between 6 - 13°C.
7. Materials selection - Consider alternatives to high heat absorbing, reradiating materials (such as asphalt). Low reflectivity roofing and materials should be used where possible, including permeable paving. Building materials should contribute to external and internal thermal comfort & minimise the need for mechanical heating and air-conditioning.
8. Water - Integrate waterways, water features, water capture, water reuse and water recycling into site design, maximise permeable surfaces, and retain water in landscape where possible for cooling effect
9. Urban design - Consider orientation, airflow, shading through shade structures, and the selection of building and landscaping materials in the design.
10. Water Sensitive Urban Design (WSUD) - Maximise permeable surfaces in landscape design and increase water retention and reuse in the landscape for cooling effect.

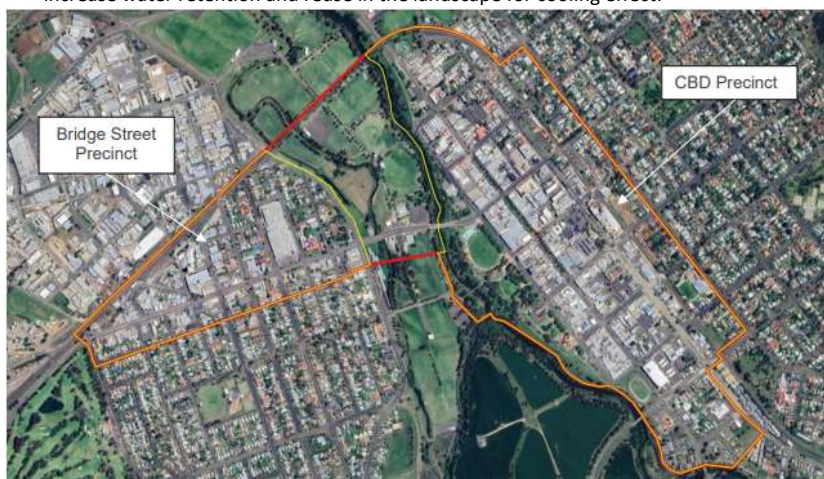


Figure 1 – Urban Heat Island Map - CBD precinct east of the river and Bridge Street precinct west of the river



STEP 3: GENERAL DEVELOPMENT SPECIFICATIONS

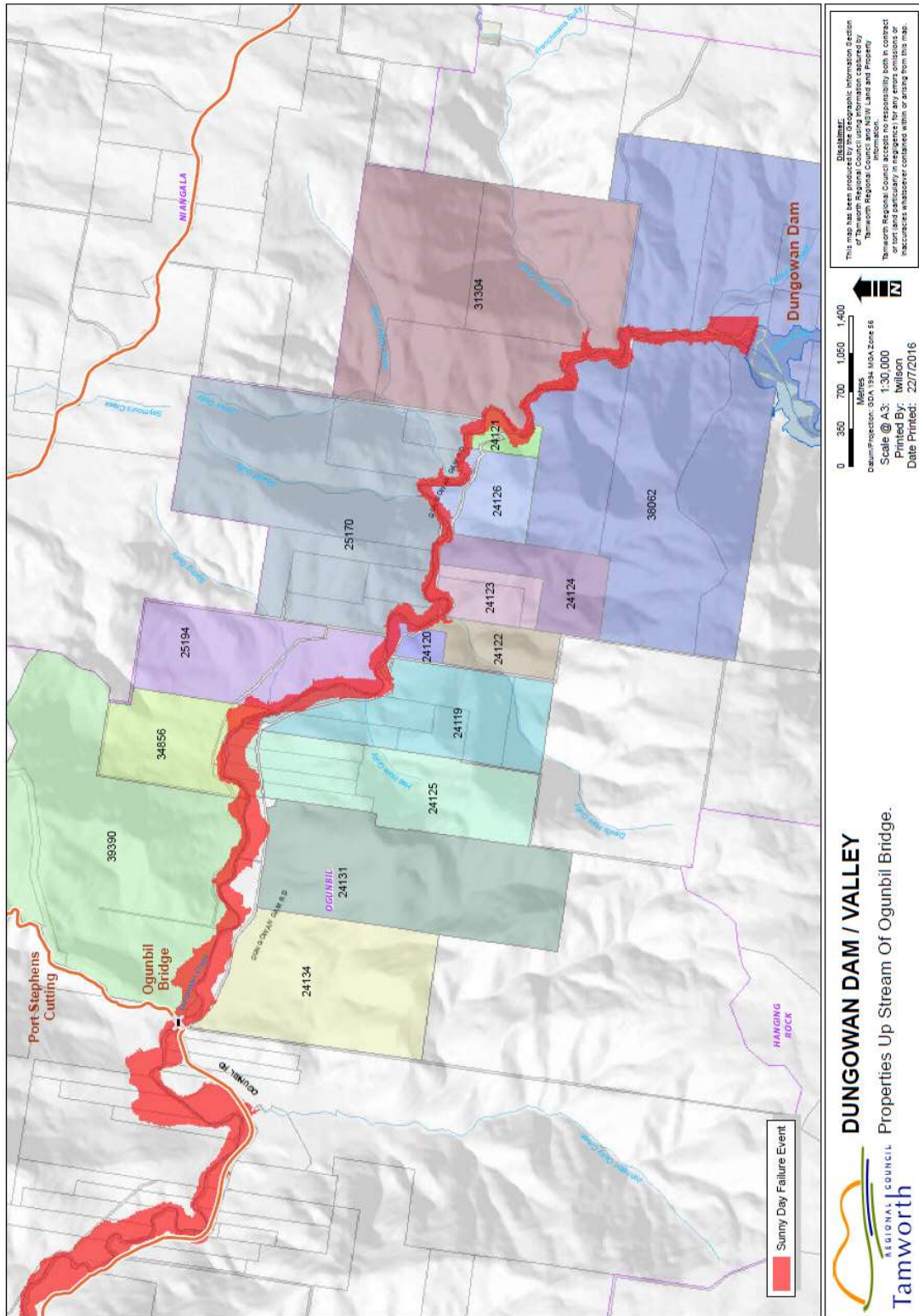
Development on Flood Affected Land

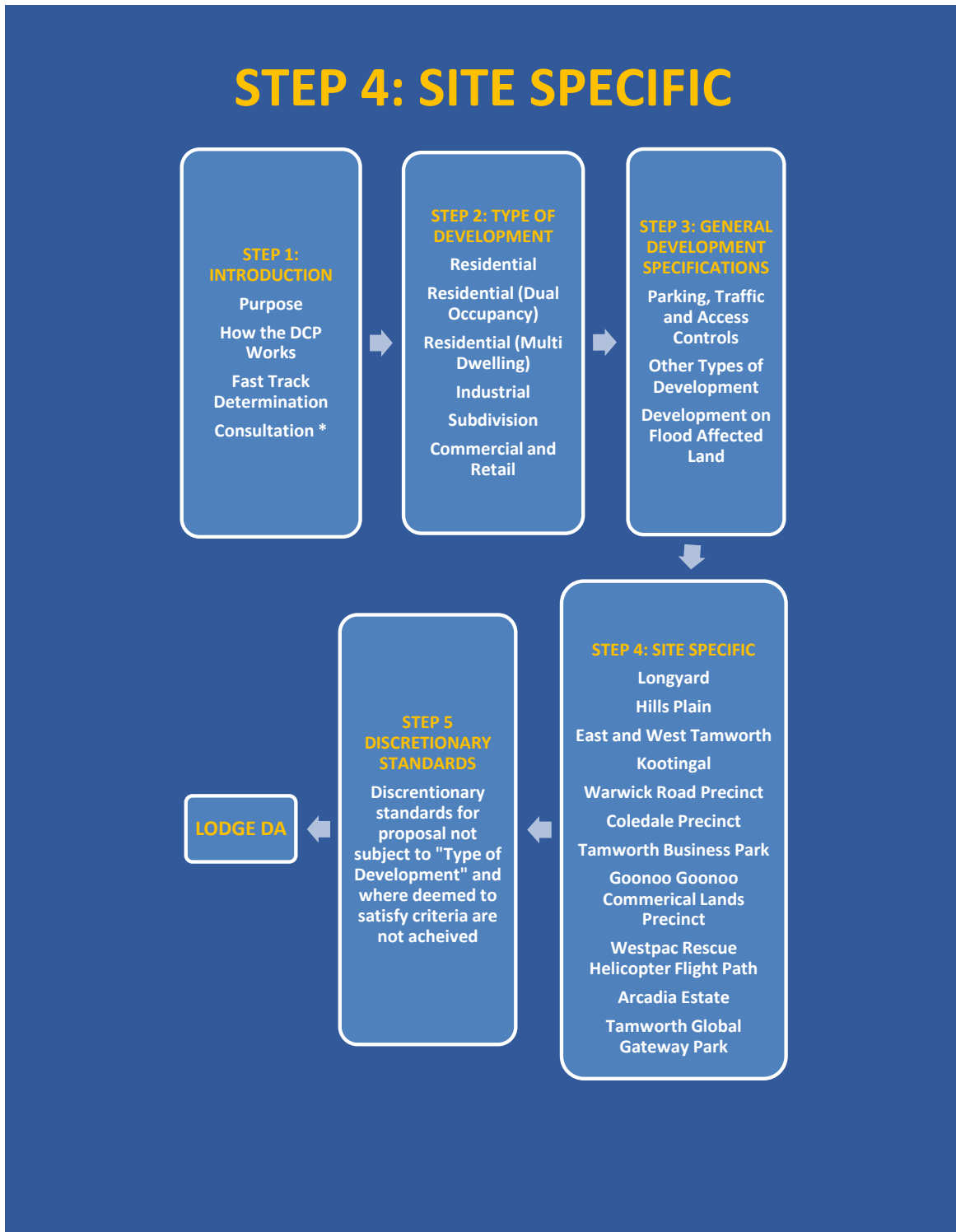
These are the development controls relating to development on flood control lots. Please note, **Step 2 – Type of Development** requirements may also apply to your development.

Is land flood affected?	<p>Council has adopted the 1% annual exceedance probability (AEP) Flood plus 0.5m as its Flood Planning Level (FPL).</p> <p>Additionally, the flood planning level includes the Sunny Day Failure of Dungowan Dam plus 0.5m for the properties between the Ogunbil Bridge and Dungowan Dam.</p> <p>Land below the Flood Planning Level is referred to as the “flood planning area” (FPA).</p> <p>Flood planning area as shown on the Flood Planning Area Maps and associated flood studies available on Council’s website is defined as the most current information available to Council and may be derived and interpreted from a combination of the following:</p> <ol style="list-style-type: none"> 1. Flood Studies identifying the 1% AEP flood undertaken in accordance with the Floodplain Development Manual, prepared by the NSW Government (as applicable at the time the Study was conducted) 2. Modelling undertaken for specific sites which identifies the 1% AEP flood 3. Historic flood inundation records held by Council as the highest know flood 4. Information contained within an environmental planning instrument or policy 5. Specific flood mapping for the site 6. Mapping endorsed by the elected Council at an Ordinary Council Meeting.
Glossary of Terms	<ul style="list-style-type: none"> • AEP means - Annual Exceedance Probability • FPA means – Flood Planning Area • FPL means – Flood Planning Level • AIDR means - Australian Disaster Resilience Handbook 7 Managing the Floodplain: A Guide to Best Practice in Flood Risk Management in Australia (AIDR 2017).
Land Behind Levees	<ul style="list-style-type: none"> • Development on land protected by the urban levee system is to include consideration of inundation resulting from a levee breach (failure of overtopping) or stormwater ponding when the river system is in flood.
Access	<ul style="list-style-type: none"> • All lots created by subdivision must have safe vehicle access (H2 in Figure 6 AIDR 2017b) for events up to 1% AEP. • For development of existing lots, where flood free vehicle access is not possible, the development must be able to achieve access through maximum H3 hazard category as defined in Figure 6 AIDR 2017b for 1% AEP flood events.
On-site Sewer Management	<ul style="list-style-type: none"> • Onsite sewer management facilities must be sited and designed to withstand flooding conditions (including consideration of structural adequacy, avoidance of inundation, and flushing/leaking into flowing flood waters). Tank and trench style of systems are not permitted on land affected by the Flood Planning Level. • All sewer fixtures must be located above the 1% AEP Flood.
General Development Requirements	<ul style="list-style-type: none"> • No building or work (including land filling, fencing, excavation) shall be permitted on flood affected land where in the opinion of Council, such building or work will obstruct the movement of floodwater or cause concentration or diversion of floodwaters. • A survey plan prepared by a registered surveyor showing existing ground levels, finished ground levels, finished floor levels, flood levels and location of existing/proposed buildings and safe evacuation path on the site relative to AHD. • This information must be supplied for development within the FPA.

General Development below the 1% AEP flood level	<ul style="list-style-type: none"> • For any part of a building (new works) below the 1% AEP flood level, structural design must be in accordance with the NCC flood requirements. The “Flood Hazard Area” is the FPA. The “defined flood event” is the 1% AEP event. The “flood hazard level” is the FPL. • Development must be designed in accordance with the Australian Building Codes Board Standard - Construction of Buildings in Flood Hazards. • All materials used in construction shall be flood compatible.
Residential Development	<ul style="list-style-type: none"> • Floor levels of all habitable rooms, or rooms with connection to sewer infrastructure shall not be less than the flood planning level. • Upon completion and prior to the occupation (where relevant), a certificate by a registered surveyor showing the finished ground and floor levels conform to approved design levels shall be submitted to Council. • Additions to existing buildings below the FPA will be only be permitted, with limitations, as follows: <ul style="list-style-type: none"> ○ where the floor level of the proposed addition is located below the FPL the maximum increase in floor area is not to exceed 10% of the floor area of the existing dwelling; or ○ where the floor level of the proposed addition is located above FPL but safe access is not available the increase in habitable floor space shall not exceed 100m². • Where additions are more than 0.5m below the FPL Council must be satisfied that the addition will not increase risk to inhabitants in the event of a flood. • Rebuilding part of a dwelling may be permitted provided the building maintains the same dimensions which result in the same impact on flood behaviour.
Commercial/ Retail/ Industrial Development	<ul style="list-style-type: none"> • Development shall incorporate measures to seal or flood proof buildings, to avoid activities or fittings susceptible to flood damage, or to store the contents of buildings above the 1% AEP level.
Subdivision	<ul style="list-style-type: none"> • Residential subdivision will not be permitted where any lot to be created will be fully inundated by a 1% AEP event and the creation of such lot will create the potential for increased intensity of development within the flood planning area.
Landfilling	<ul style="list-style-type: none"> • Landfilling is not permitted within the floodway. • The volume of flood storage must be maintained when filling in the flood storage. • Land filling proposals are to demonstrate consideration of AS3798 . • Survey plan prepared by a registered surveyor is required, showing the contour levels of natural surface, any existing fill and the designed contour levels for the finished work. • A report certified by a consulting engineer is required to detail the impact of the proposed fill on adjoining properties and, where levee banks are proposed, and the methods of internal drainage. • Applications shall be accompanied by a construction management plan to show <ul style="list-style-type: none"> ○ source of fill, including contamination assessment ○ an assessment of the impact of haulage vehicles on roads ○ precondition report of all haulage routes ○ details of method of compaction of fill and associated impacts: control of dust, sedimentation, water quality impacts, noise and vibration ○ contingency for containment of fill in the event of a flood during placement
Non-residential rural buildings	<ul style="list-style-type: none"> • Not permitted in “floodways”. • Floor areas shall be located no lower than 0.5m below the FPL unless there are no alternative practical sites, in which case the building or structure must be designed to withstand the force of flowing floodwaters, including debris and buoyancy forces as appropriate and has been designed in accordance with the Australian Building Codes Board Standard - Construction of Buildings in Flood Hazards

Dungowan Dam / Valley – Properties Up Stream of Gunbil Bridge





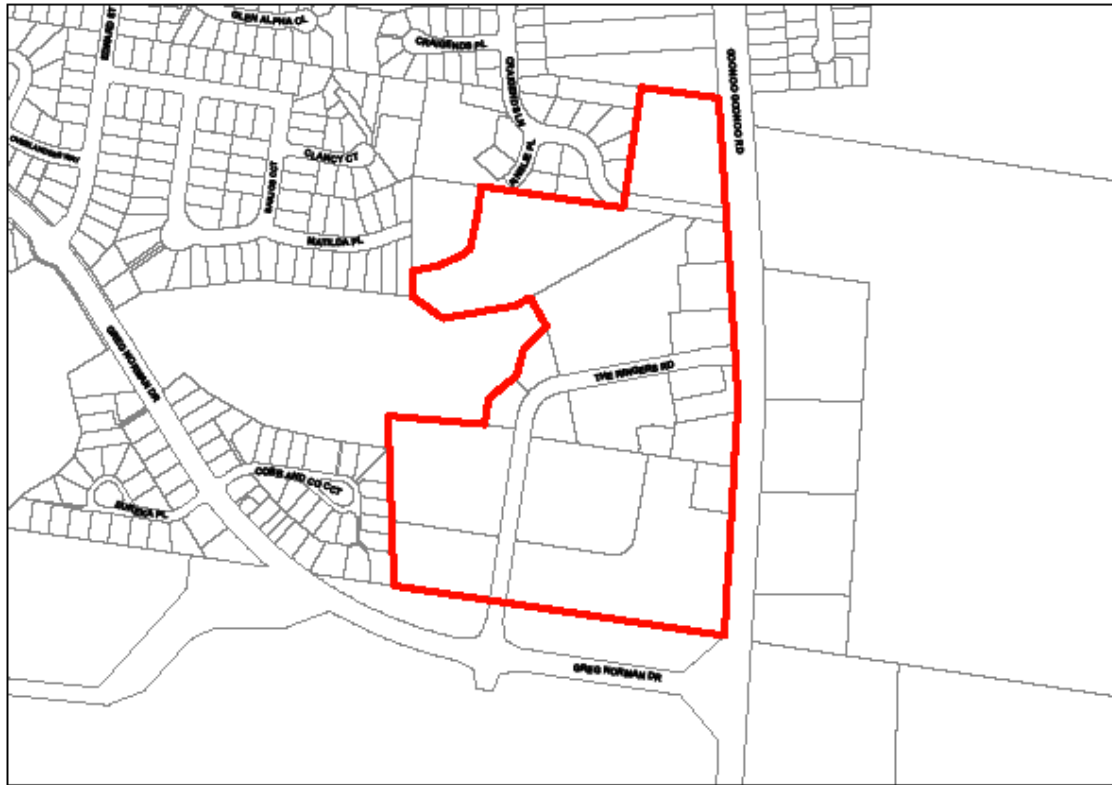


STEP 4: SITE SPECIFIC
Longyard Business Precinct

These are the development controls relating to development in the Longyard Business Precinct.

Land Use	<ul style="list-style-type: none"> The Longyard Business Precinct is an important Gateway location for residents and visitors arriving to Tamworth and should present a vibrant and aesthetically pleasing entrance to the urban area. As such, the lots with Highway frontage are not intended for industrial forms of occupation or development (e.g., warehouses, vehicle repair and depots).
Road Network	<ul style="list-style-type: none"> The road network within the Longyard Business Precinct is constrained by: the Highway frontage; the width and configuration of the Ringers Road and Craigends Lane; and, the dual purpose of Craigends Lane which accesses a residential neighbourhood. Development proposals will be required to give consideration to the traffic impacts on this road network including the intersections with the New England Highway at Craigends Lane, the Ringers Road and Greg Norman Drive. This shall include cumulative impacts on the level of service at each intersection and the suitability of the geometric layout. The characteristics of the Longyard Business Precinct and its proximity to the Regional Sporting Precinct require the installation of footpaths with developments and subdivisions.
The Ringers Road	<ul style="list-style-type: none"> The Ringers Road represents an important movement corridor for vehicles and pedestrians and residents and visitors alike. Any development of land fronting The Ringers Road shall incorporate sufficient building setback to allow for parking, landscaping and building presentation. Design of development fronting The Ringers Road shall position loading facilities and storage and service areas so as not to detract from the streetscape.
Craigends Lane	<ul style="list-style-type: none"> Development of the land fronting Craigends Lane will be required to recognise the potential impacts on the adjoining residential neighbourhood, including traffic, noise, lighting.
Relationship to Adjoining land	<ul style="list-style-type: none"> In recognition of the mixed land uses in and around this precinct, development shall incorporate sufficient buffers to prevent land use conflict. These may take the form of landscaping, fencing, acoustic barriers, building setbacks or a combination of these. The buffer shall include recognition of both the visual (e.g. differing bulk and scale) and operational impacts (e.g., loading/unloading, waste management, hours of operation) of developments.
Salinity	<ul style="list-style-type: none"> Some areas within the Longyard locality are recognised to be affected by the presence of groundwater vulnerability and potential soil salinity which can result in the corrosion of concrete, as well as the deterioration of metal, masonry and bituminous structures/products. The following measures are designed to assist in avoiding this impact; A report from a suitably qualified person is to be submitted indicating that consideration has been given to the possibility of ground water vulnerability in the structural design and construction of the building; and Landscaping design shall incorporate suitable species of drought resistant and deep-rooted vegetation that is recognised for effectiveness in maintaining or lowering the level of the water table. Details of such planting are to be submitted to Council with the development.
Drainage	<ul style="list-style-type: none"> Development applications shall include an assessment of the impact of the stormwater discharge on downstream capacity and water quality. Information to assist in the preparation of this assessment is available from Council.

Longyard Business Precinct





Tamworth Regional Development Control Plan 2010

STEP 4: SITE SPECIFIC

Hills Plain Development Controls

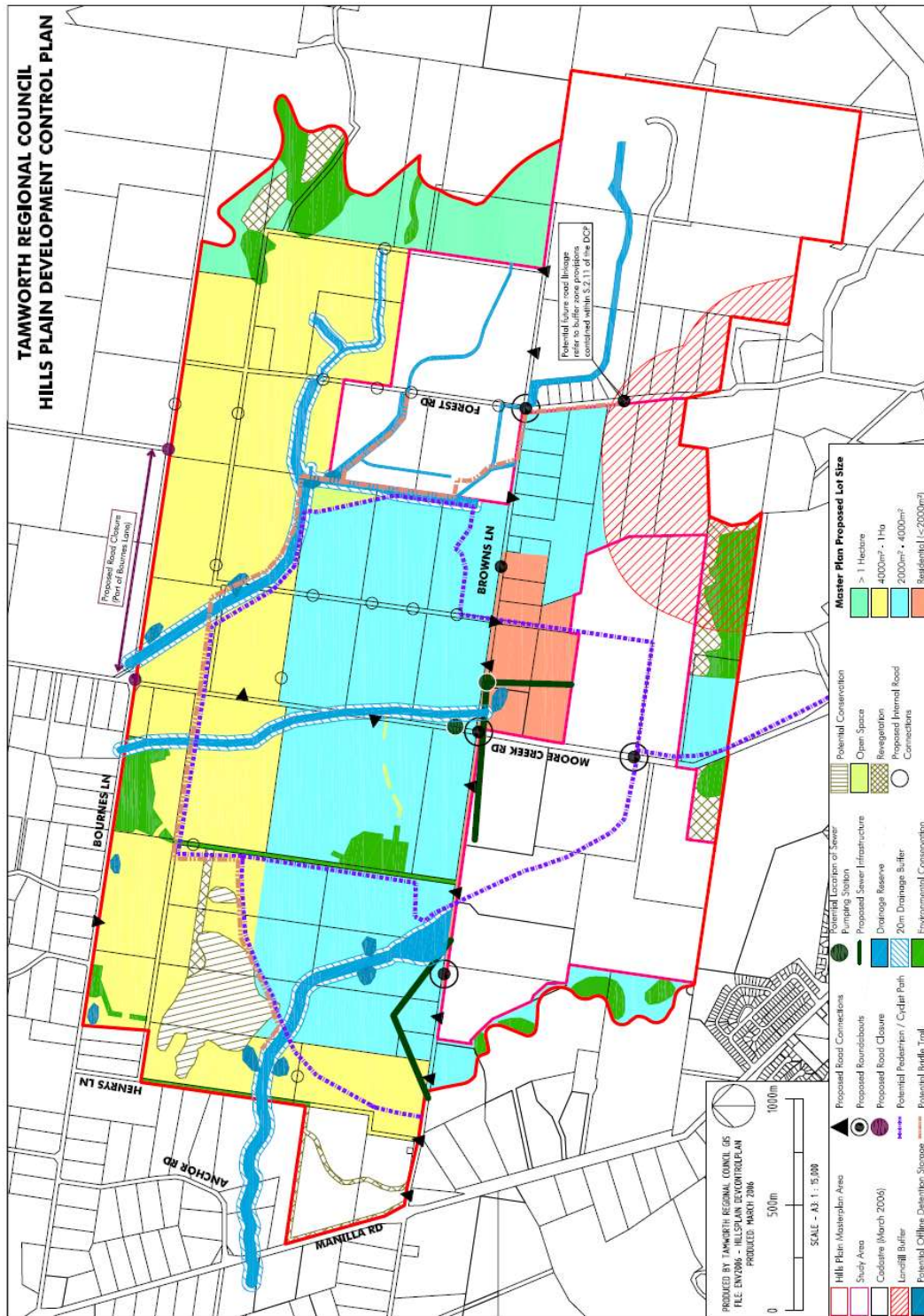
These are the 'deemed to satisfy' controls relating to development in Hills Plain. Please note

Step 2 – Type of Development requirements may also apply to your development.

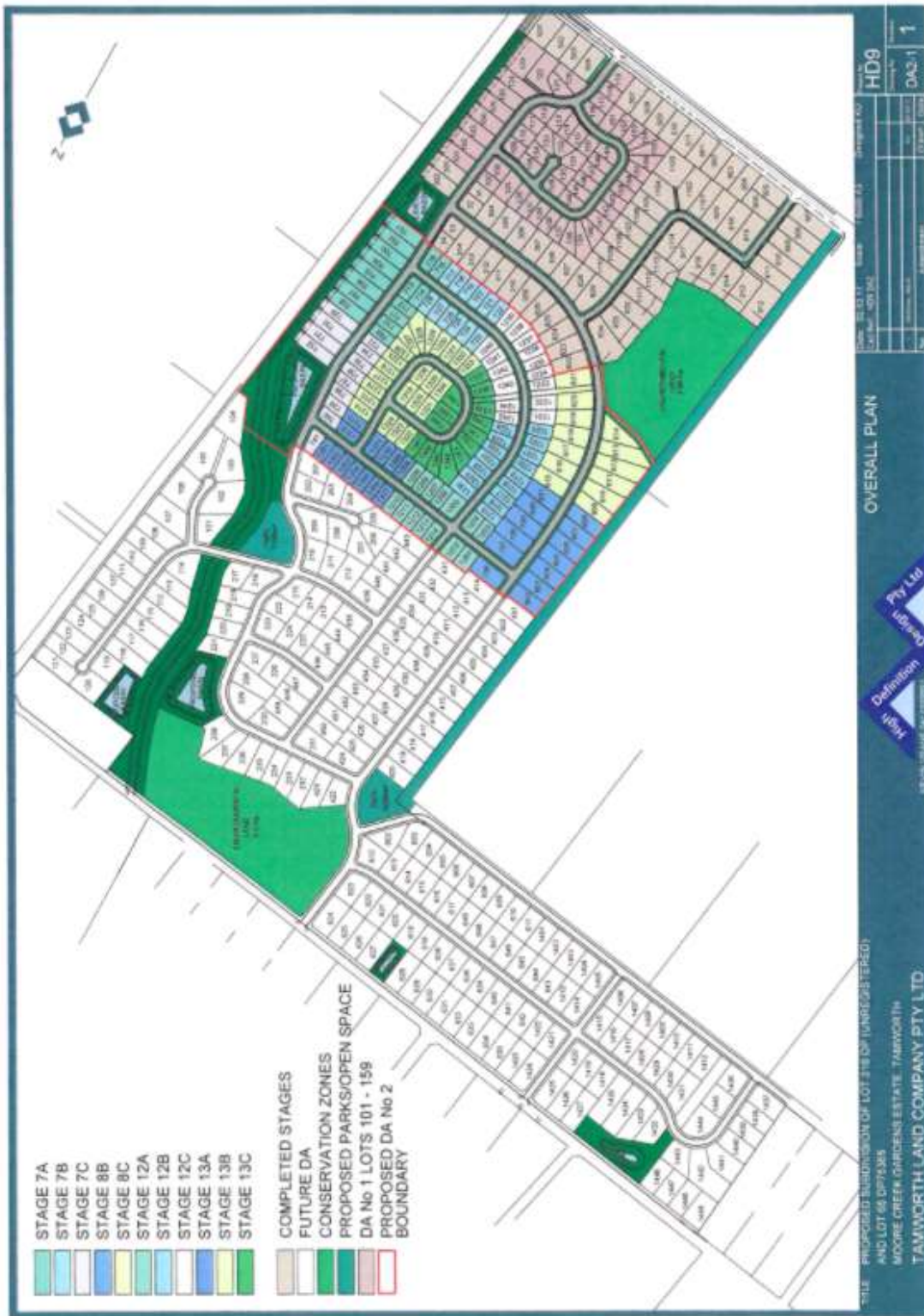
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| Road Design | <ul style="list-style-type: none">• Road connections, pedestrian footpaths and bicycle paths are to be provided in accordance with the Hills Plain Concept Plan (below).• Moore Creek Road is the north-south collector road while Manilla Road is a sub-arterial road. Forest Road is a local road that also provides relief for Moore Creek Road. Browns Lane is a collector road for the three north-south roads (Moore Creek, Manilla and Forest Roads) whilst also providing local neighbourhood access.• Subdivision plans are to provide adequate space for future road upgrade works including:<ul style="list-style-type: none">○ 5 metre widening both sides of Moore Creek Road○ 5 metre widening both sides of Browns Lane○ 7 metre widening to the southern side of Bournes Lane (being that section of Bournes Lane located west of the Moore Creek Road intersection).○ roundabout at Browns Lane/Moore Creek Road○ intersection upgrade at Bournes Lane/Moore Creek Road○ intersection upgrade at Browns Lane/Manilla Road• Direct vehicular access to individual allotments is not permitted from Moore Creek Road or Browns Lane.• Subdivisions which face Moore Creek Road and Browns Lane (where no direct vehicular access is available) should be designed so that future housing development will be orientated to face those major roads (rather than presenting back yards). |
| <hr/> | |
| Open Space | <ul style="list-style-type: none">• Open space must be provided in accordance with the Hills Plain Concept Plan and the applicable Section 94 Contributions Plan.• Open space must be provided in the Moore Creek Gardens subdivision (comprising Lot 317 & 318 DP 1230183, Lot 65 & 121 DP 753851, Lot 722 DP 562156 and Lot 7 DP 562157 on 10 October 2017 in accordance with the Moore Creek Gardens Concept Plan contained in this chapter. |
| <hr/> | |
| Drainage | <ul style="list-style-type: none">• Each lot is required to be designed to ensure dwelling site access outside the designated stormwater drainage areas.• There shall be no disturbance within 20 metres of the top of the bank of natural creek and drainage lines as identified in the Concept Plan. The 20 metre buffer from the drainage lines may be incorporated into new lots adjoining the drainage reserve however a building envelope will need to be identified outside the buffer.• Suitable scour protection to be provided at all discharge points to existing creek lines. |
| <hr/> | |
| Building Design | <ul style="list-style-type: none">• The colours of building materials are to maintain the rural theme of the locality with emphasis given to non-reflective cool greys, light browns, ochres and earthy hues that complement the materials and tones found in the area. Zincolume roofing is not permitted.• No solid fences are permitted for lots zoned R2 Low Density Residential shown on the Lot size Map as V – 2000m² or W – 4000m². |
-

Ecology	<ul style="list-style-type: none">• Subdivision proposals shall ensure that remnant vegetation is protected by the creation of covenants.• All native vegetation should be retained within the road reserves and supplemented with additional plantings of indigenous species.• Invasive plant species, either indigenous or exotic, should not be planted.• Removal of vegetation from land identified in the Hills Plain Concept Plan as <i>Environmental Conservation</i> is not permitted.• Landscaping plan must include revegetation of roadsides, creek lines and areas between remnant vegetation as shown in the Hills Plain Concept Plan.• Mature trees within the R2 Low Density Residential zone shall be retained, including dead trees with hollows.• A buffer from development should be incorporated into any proposed new lots adjoining areas identified for conservation in the Concept Plan (i.e. areas of White Box Woodland). The extent of this buffer should be no less than the Bushfire Asset Protection Zone (APZ).• All activities within the R2 Low Density Residential zone that may impact on the integrity of the habitat vegetation or corridor link, including under-storey clearing, will not be permitted outside identified building envelopes.
Water	<ul style="list-style-type: none">• All lots within Hills Plain are to be serviced by reticulated water in accordance with the Development Servicing Plan.• In addition to water storage capacity required by BASIX commitments, rainwater storage is encouraged to allow the sustainability of lawns and gardens.
Sewer	<ul style="list-style-type: none">• All lots within Hills Plain are to be serviced by connection to reticulated sewer in accordance with the Development Servicing Plan.
Geology	<ul style="list-style-type: none">• Development shall demonstrate building envelopes and footprints are not affected by subsurface caverns and dolines.
Landfill Buffer	<ul style="list-style-type: none">• Subdivision and development within the landfill buffer shown in the Concept Plan is determined by the provisions of the RU6 Transition zone and the Lot Size Map under the Tamworth Regional Local Environmental Plan 2010.

Hills Plain Concept Plan



Moore Creek Gardens Concept Plan





STEP 4: SITE SPECIFIC

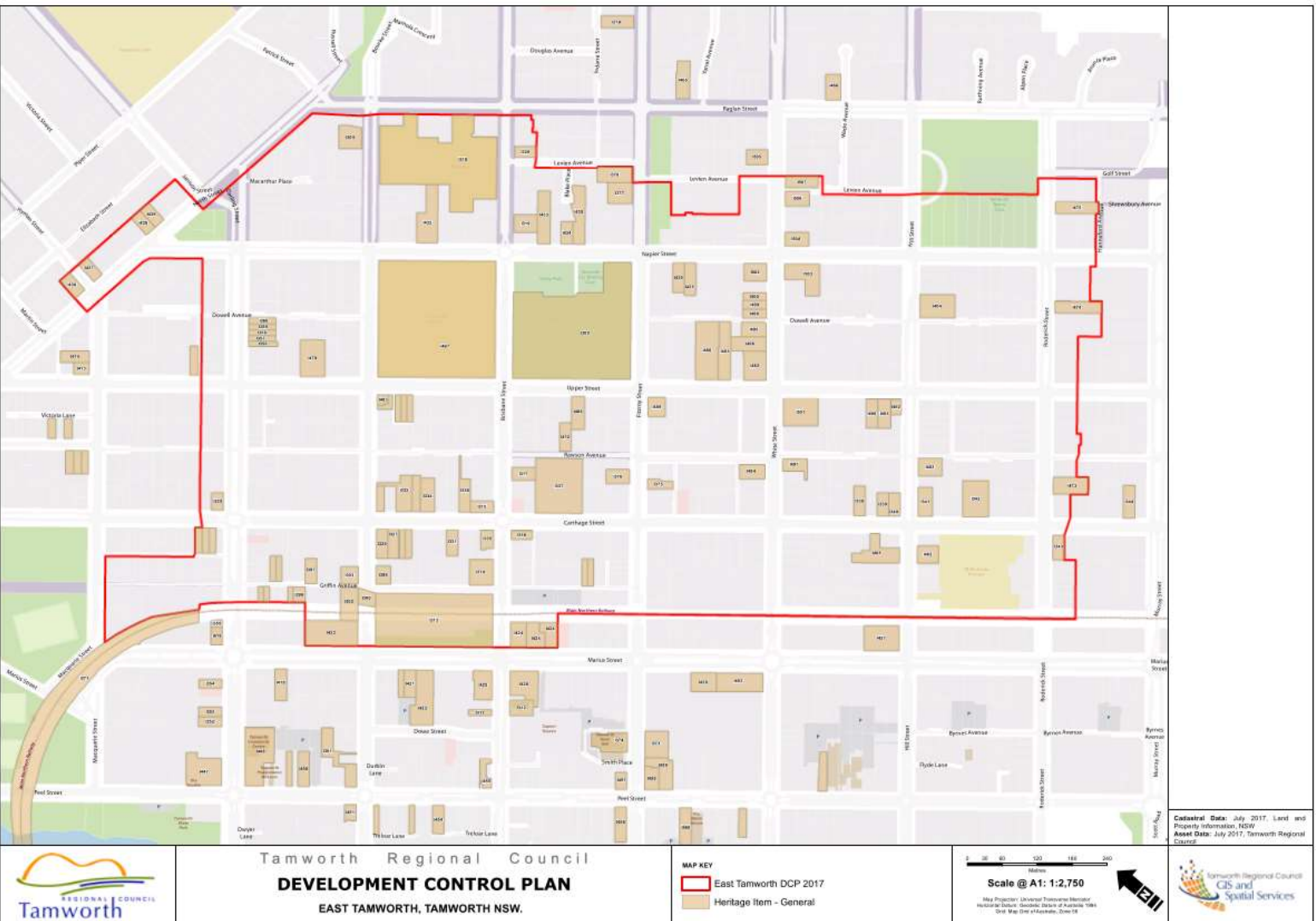
East Tamworth and West Tamworth

These are the development controls relating to development within East Tamworth and West Tamworth as identified on the DCP Maps. Please note, **Step 2 - Type of Development** requirements may also apply to your development.

Aims	<ul style="list-style-type: none"> • The locations identified in the East Tamworth and West Tamworth DCP Map (below) have been identified as possessing unique character, based on - <ul style="list-style-type: none"> ○ The presence of a significant number of heritage items which retain original character ○ Building form and materials representative of the Tamworth heritage ○ Subdivision pattern reflective of the original town plan ○ Streetscapes featuring mature trees in avenue plantings and gardens complementary to the built environment • Items of the environmental heritage are defined in the Tamworth Local Environmental Plan 2010 and development applications require consideration of the requirements of clause 5.10.
Subdivision	<ul style="list-style-type: none"> • Subdivision proposals must be consistent with the prevailing subdivision pattern. • Subdivision of a property containing a heritage item must: <ul style="list-style-type: none"> ○ Maintain existing building curtilage; ○ Provide for outbuildings and garaging; and ○ Ensure significant landscape features and vegetation are retained.
Alterations and/or additions to existing heritage items	<ul style="list-style-type: none"> • Destruction of important elements such as chimneys, windows and gables will not be permitted. • Original details such as panelling, ceilings, skirtings, architraves or remaining door and window furniture, must be retained. • Fire safety upgrading of buildings must be undertaken in accordance with the NSW Heritage Office manual titled "Heritage on Fire". • In relation to siting of alterations and additions, the following criteria apply – <ul style="list-style-type: none"> ○ Basement additions are not permitted at the front elevation. ○ Extensions or alterations to heritage items should not project beyond the front building line. ○ Side additions should not compromise the ability for driveway access to the rear of the block. ○ Front and side setbacks should be typical of the spacing between buildings located in the vicinity of the new development. ○ Extensions or additions to a building on a heritage listed site must only occur at the rear of the existing building or where not visible from the street. • In relation to roofing - <ul style="list-style-type: none"> ○ Original roof material must be matched in material and colour. ○ Skillion roofs of additions must be pitched rather than flat and should be of a depth which is secondary to that of the main building. ○ Roof pitch of additions must match existing. ○ Roofing must maintain the scale and massing of the existing roof form. ○ All roof openings must be located on the rear pitch of the roof and not be visible from the street. • In relation to size and scale - <ul style="list-style-type: none"> ○ Building bulk and large expanses of solid masonry should be avoided through the use of recesses, bays, vertical elements and/or the use of additional surface treatments/materials. • In relation to materials and colours - <ul style="list-style-type: none"> ○ Extensions or alterations must retain existing materials and finishes and use compatible materials for new work. ○ New face brickwork should match the existing brick in colour and texture, and type of jointing and mortar colour. ○ Unpainted face brick or stone must remain unpainted and unrendered. ○ Original timber windows must be retained, repaired or reconstructed in existing buildings. New doors and windows must be of materials consistent with the existing building. ○ Colour schemes must match the period of the building. ○ Mock historical details must not be applied.

Change of Use of heritage items	<ul style="list-style-type: none">• Adaptive reuse of a building must:<ul style="list-style-type: none">○ Retain all significant fabric of the heritage listed building.○ Retain the general appearance of the building so that its original role can be readily interpreted.
Fencing to Heritage Items	<ul style="list-style-type: none">• Original fences must be retained and maintained unless they are beyond repair.• Fences must be of a scale comparable with the street and the building.• Front fences must be of materials characteristic to the surrounding area, particular to the street and suitable to the era of the house. Examples include timber picket, low masonry, palisade and hedges.• Plain or colour treated metal fences are not permitted on any street frontage or side boundary in front of the street setback or heritage item.
New development	<ul style="list-style-type: none">• Design shall give consideration to the following -<ul style="list-style-type: none">○ New development must have a hipped or gabled roof without unnecessary secondary projections.○ New development must use materials which are consistent with the overall character of the streetscape, as defined by reference to the original older buildings in the immediate locality.○ Openings in visible frontages must retain a similar ratio of solid to void as to that established by the original older buildings.○ If a large area of glass is required, vertical mullions must be used to suggest vertical orientation. A large window could also be set out from the wall to form a simple square bay window making it a contributory design element rather than a void.○ The quality and quantity of existing street front garden landscaping must be maintained.• Siting of new development shall give consideration to the following -<ul style="list-style-type: none">○ New development must be aligned to the predominant building line and must provide for the retention of curtilages around heritage buildings.○ Where there is no identifiable setback pattern, new buildings should be setback at the same distance from the street as the adjoining properties.○ New development must be sited behind the building line of any adjoining heritage item.○ Development patterns such as subdivision layout, setbacks and spaces between buildings should be maintained.• Size and scale of new development must be consistent with surrounding buildings in terms of the average predominant height, size and proportions.• Selection of materials should include consideration of the following -<ul style="list-style-type: none">○ Bricks of mixed colours (mottled) and textured 'sandstock' bricks are not permitted.○ Building bulk and large expanses of solid masonry must be avoided through the use of recesses, bays, vertical elements and/or the use of additional surface treatments/materials.○ Corrugated galvanized iron (or zincalume finish) is a most appropriate roofing material for new buildings in historic areas.
New Ancillary Structures	<ul style="list-style-type: none">• Any ancillary structures (e.g. carport, garage, shed) must:<ul style="list-style-type: none">○ not be located between the main dwelling front building line and the street frontage;○ be no greater than one storey with an attic;○ must be constructed of materials complementary to the main dwelling. Colourbond wall sheeting is not permitted;○ be located between the rear of the dwelling and the rear boundary.• Garages must:<ul style="list-style-type: none">○ have simple rectangular plans;○ have doors restricted to single car width;○ have a roof form which is gabled or hipped with roof pitch equal or less than that of the main dwelling;○ be detached from the existing house;○ be set to the rear of the dwelling;○ constructed of materials of simple character i.e. weatherboards, vertical shiplap boards and corrugated metal roof sheeting;○ on sloping sites be located in the basement.• Carports must:<ul style="list-style-type: none">○ be of timber frame construction. Standard steel frame carports and garages are not appropriate;○ have a roof pitch slightly lower than that of the main building – generally 25 – 30°;○ be detached from the existing house;○ be set to the rear of the dwelling.

East Tamworth



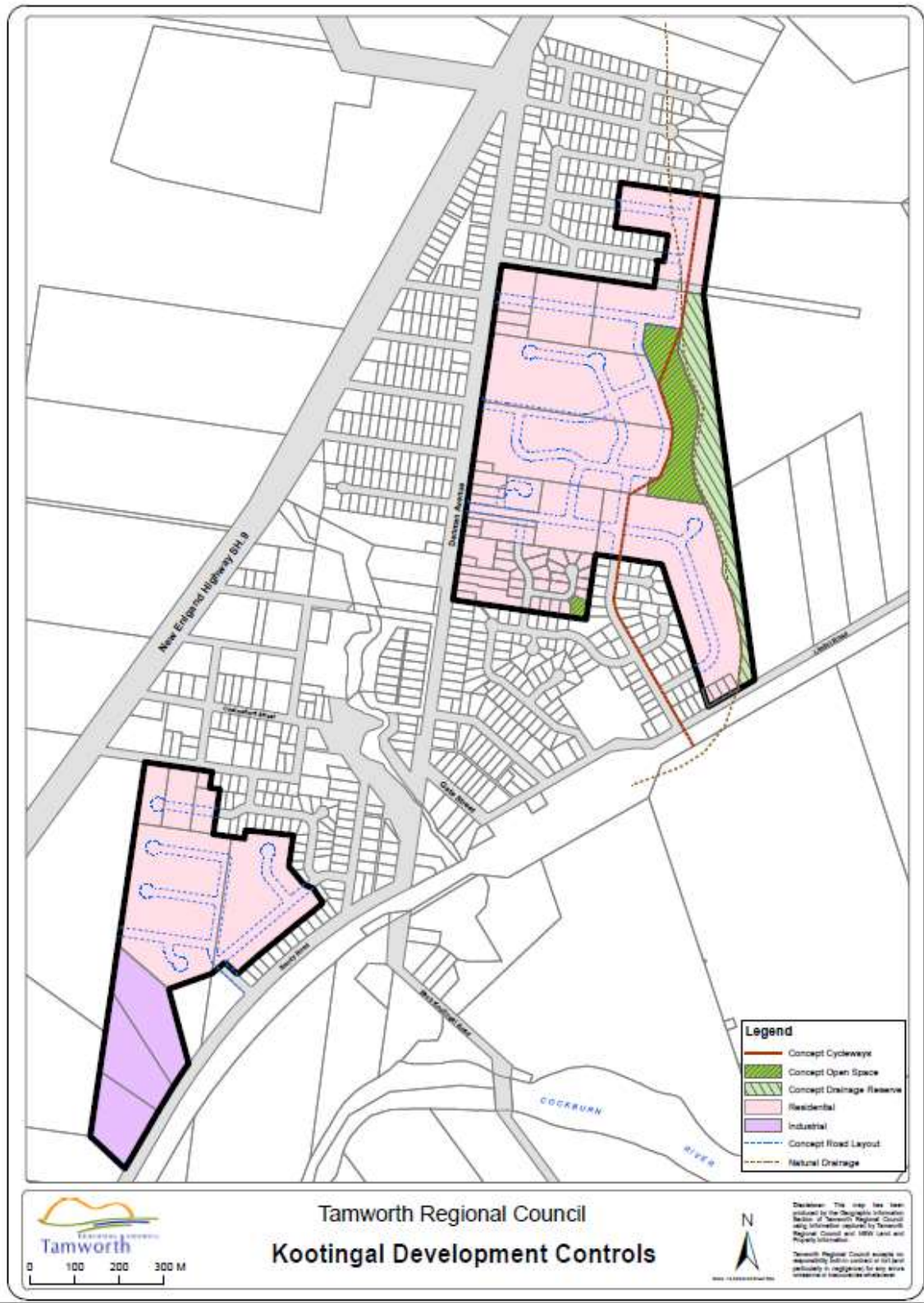


STEP 4: SITE SPECIFIC

Kootingal

These are the development controls relating to development in the town of Kootingal. Please note, **Step 2 – Type of Development** and **Step 3 – General Development Specifications requirements** may also apply to your development.

Open Space	<ul style="list-style-type: none">Any subdivision development will require public open space provision within the areas of Kootingal as identified in the Kootingal DCP Map (below) and the applicable Section 94 Contributions Plan.
Subdivision	<ul style="list-style-type: none">Subdivision proposals must be consistent with the prevailing subdivision pattern as per the Kootingal DCP Map (below).Subdivision plans need to provide infrastructure suitable for future upstream and/or downstream development.
Drainage	<ul style="list-style-type: none">Development proposals will be required to give consideration to the traffic impacts on the road network including the intersections with the New England Highway at Sandy Road and Denman Avenue.
Road Design and Network	<ul style="list-style-type: none">The road hierarchy shall be defined as per the Kootingal DCP Map (below).Road connections, pedestrian footpaths and bicycle paths are to be provided in accordance with the DCP Map (below).Subdivision plans need to provide for future connectivity.
Water Storage	<ul style="list-style-type: none">In addition to water storage capacity required by BASIX commitments, rainwater storage relative to the size of a property is encouraged to allow for the sustainability of lawns and gardens.Rainwater tanks are to be located behind the street setback of the existing dwelling and suitably screened where visible from a public place or street.Development properties within the confines of Bushfire Prone Land that do not have full mains pressure available are required to have at minimum 10,000 Litres water storage for firefighting purposes.

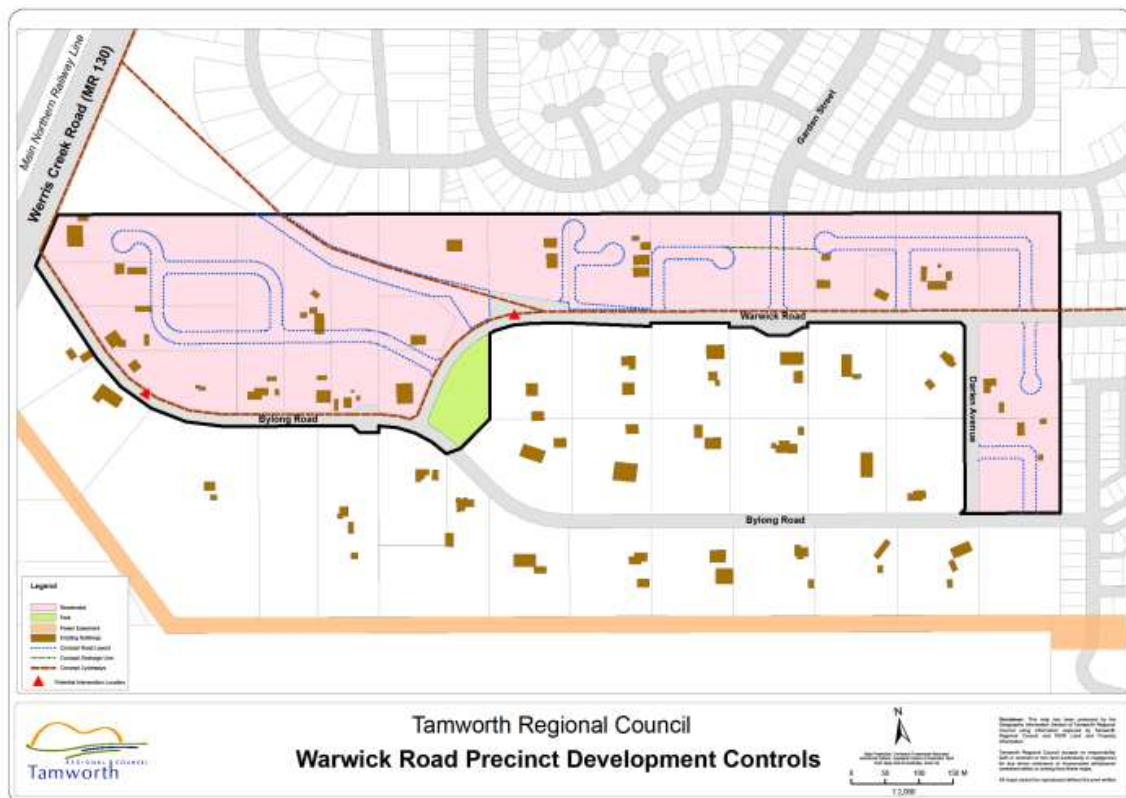




STEP 4: SITE SPECIFIC Warwick Road Precinct

These are the development controls relating to development in the Warwick Road Precinct as identified on the DCP Maps. Please note, **Step 2 – Type of Development** and **Step 3 – General Development Specifications** requirements may also apply to your development.

Open Space	<ul style="list-style-type: none"> Any subdivision development will require Open Space arrangements in accordance with the applicable Section 94 Contributions Plan.
Drainage	<ul style="list-style-type: none"> Development applications shall include an assessment of the impact of the stormwater discharge on downstream capacity and water quality.
Road Design and Network	<ul style="list-style-type: none"> Access to the area is to be provided in accordance with the Warwick Road Precinct DCP map (below). Road connections, pedestrian footpaths and bicycle paths are to be generally provided in accordance with the Warwick Road Precinct DCP map and the applicable Section 94 Contributions Plan. All future road reserves are to be a minimum of 20 metres. Subdivision plans are to provide adequate space for future road upgrade works including: <ul style="list-style-type: none"> approximately 7 metre widening of sections of Warwick Road. intersection upgrades along Warwick Road. intersection upgrades along Bylong Road.
Salinity	<ul style="list-style-type: none"> Saline soils can decrease the life span of some bricks and concrete structures and requires salinity management strategies. Salinity issues are known to the area and relevant details are to be provided with any development proposal, addressing the issue.
Landscaping	<ul style="list-style-type: none"> Given that that there is known to be saline soils in the area, it is recommended that appropriate species is selected. The Subdivision Certificate will not be issued until the landscaping has been undertaken in accordance with the approved plan.

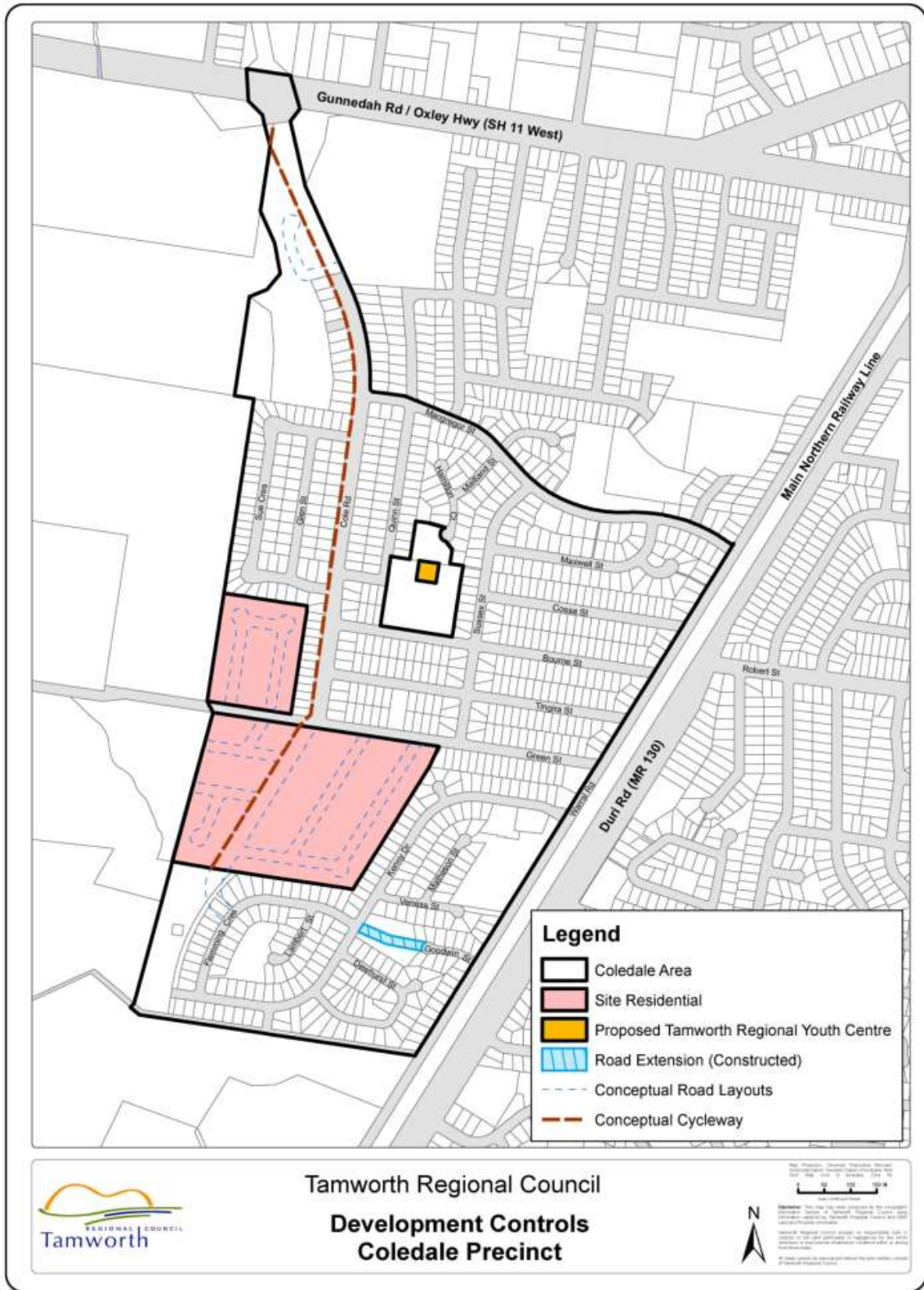




STEP 4: SITE SPECIFIC Coledale Precinct

These are the development controls relating to development in the Coledale Precinct as identified on the DCP Maps. Please note, **Step 2 – Type of Development** and **Step 3 – General Development Specifications** requirements may also apply to your development.

Subdivision	<ul style="list-style-type: none">• Subdivision proposals must be consistent with the prevailing subdivision pattern as per the Coledale DCP Map (below).
Drainage	<ul style="list-style-type: none">• Development applications shall include an assessment of the impact of the stormwater discharge on downstream capacity and water quality.
Road Design and Network	<ul style="list-style-type: none">• Access to the area is to be provided in accordance with the Coledale Precinct DCP map.• Development proposals will be required to give consideration to the traffic impacts on the road network including the intersections with the Gunnedah Road at Cole Road (extension).• Road connections, pedestrian footpaths and bicycle paths are to be generally provided in accordance with the Coledale Precinct DCP map and the applicable Section 94 Contributions Plan.• All future road reserves are to be a minimum of 20 metres.• Subdivision plans are to provide adequate space for future road upgrade works including:<ul style="list-style-type: none">○ development of sections and extensions to Cole Road.○ intersection upgrades along Green Street.○ intersection upgrades along Gunnedah Road.
Landscaping	<ul style="list-style-type: none">• The Subdivision Certificate will not be issued until the landscaping has been undertaken in accordance with the approved plan.
Aboriginal Heritage	<ul style="list-style-type: none">• An indigenous heritage items are located within or near the Coledale Precinct including near Flemming Crescent in the south west of the locality. This will limit any development in this location and is to be kept clear of any works, road works or residential development.• Consultation with the Tamworth Local Aboriginal Land Council shall be undertaken to identify the precise location of any Heritage items prior to any works commencing in the area.





STEP 4: SITE SPECIFIC

Tamworth Business Park

These are development controls relating to development in the Tamworth Business Park as identified on the DCP Maps. Please note, **Step 3- General Development Specifications** requirements may also apply to your development.

-
- Industrial Development Controls Chapter**
- Development within the Tamworth Business Park is required to comply with the Industrial Development Controls Chapter, except as otherwise nominated below.

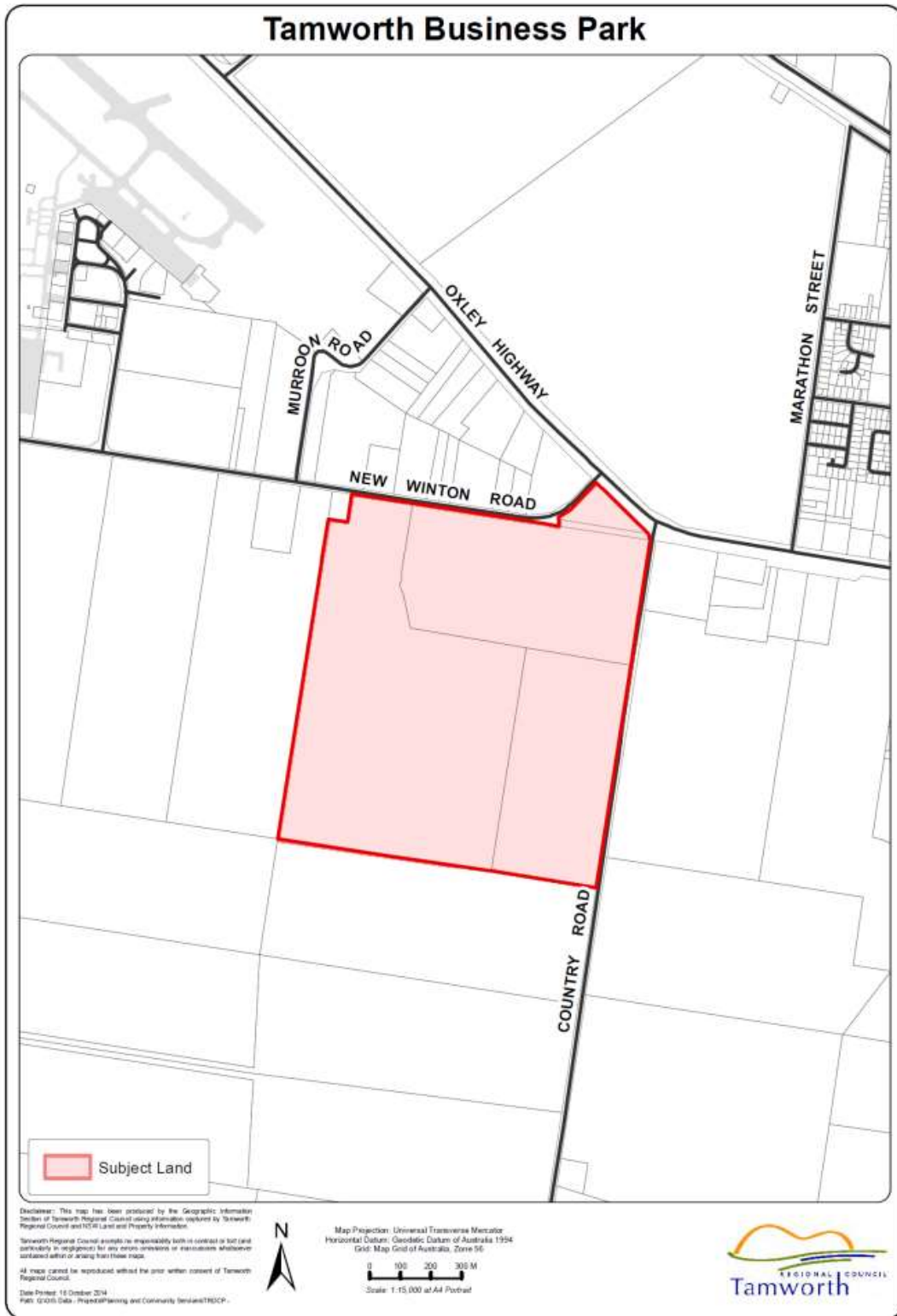
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- Building Setbacks**
- The following front building setbacks must be maintained

Location	Distance
New Winton Road	15m
Country Road	5m
All other roads	5m

-
- Design**
- The setback to New Winton Road includes a landscaping buffer of 7.5m.
 - No concession for secondary frontage.
 - Detail and architectural interest should be incorporated at visually prominent building locations such as at the end of a street or where visible from a public road or place.
 - Buildings should include low scale elements such as display areas, offices and staff amenities at the front of premises.
 - Low scale building elements must be constructed in brick, painted finished concrete or light weight architectural cladding and include large windows.
 - Corner buildings must address both street frontages.
 - A full schedule of colours and materials must accompany the development application.
 - Roofing and wall materials must be non-reflective.
 - Services such as air conditioners are to be concealed in the façade of the building or screened with landscape or built elements.
 - The design of buildings shall give consideration to the privacy of adjoining and/or adjacent residences.
 - External storage areas visible from a public road are to be screened.
 - Blank walls and loading docks that cause significant visual impact when viewed from a residence or public road must be screened with shrubs, trees or decorative fencing.
 - The maturity of the landscaping buffer at the time of the development application for a building/s will be taken into consideration in determining appropriate façade treatments.

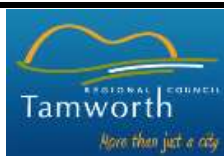
-
- Landscaping**
- A landscaping plan that details the species selected, maturity at planting, location and ultimate height shall be submitted with the development application.
 - On lots fronting New Winton Road earth mounding should be incorporated into the buffer landscaping as a method of reducing noise and lighting impacts.
 - For lots located on other roads within the subdivision, the front 5m of the setback must be landscaped in conjunction with any development.
 - Council may require landscaping of other areas to supplement the existing buffer and proposed building landscaping to assist in improving the visual appearance of the development.
 - A condition may be imposed on any development consent that a cash bond or bank guarantee to the value of \$2500 shall be lodged to ensure that site landscaping is maintained for a period of two years from issue of an Occupation Certificate where water conservation measures do not prevent the establishment of landscaping.
 - Landscaping or shade structures shall be provided in outdoor car parking areas where >10 spaces are required, to provide shading and soften the visual impact of large hard surfaces.
 - Landscaping shall comprise only low maintenance, drought and frost tolerant species.
-

Traffic and Access	<ul style="list-style-type: none">• Lots with frontage to Country Road may have individual vehicle accesses where Council is satisfied that Country Road is of a sufficient width to accommodate turning traffic without compromising the future heavy vehicle bypass.• Lots with frontage to New Winton Road are restricted to a single access/egress to be shared by two adjoining lots to minimise the impact on adjacent residences.• The location of a vehicle access shall have regard to minimising headlight glare for the residents of New Winton Road.• The number of access points from the other lots to any one street frontage is limited to 1 ingress and 1 egress.
Parking, Traffic and Access	<ul style="list-style-type: none">• Refer to <i>Step 3: General Development Specifications – Parking, Traffic and Access Controls</i>
Noise	<ul style="list-style-type: none">• Windows, doors and other wall openings shall be arranged to minimise noise impacts on residents where the development is located adjoining or adjacent to an existing residence.• External plant (generators, air conditioning plant etc.) shall be enclosed to minimise noise nuisance to surrounding residences. Details, including the proposed location of external plant shall be submitted with the development application.
Airport	<ul style="list-style-type: none">• A condition will be imposed of any development consent to require that notification be provided to the Airport Manager a minimum of 21 days before the operation of a crane for building work.• The Tamworth Regional Local Environmental Plan 2010 contains controls relating to the construction of buildings within the vicinity of the Tamworth Airport which may impact on the height and construction standards.
Bio Security	<ul style="list-style-type: none">• The allotments located on Country Road are prohibited from:<ul style="list-style-type: none">○ keeping, storing, breeding or processing poultry or avian species;○ the manufacturing of vaccine used in the treatment of animals;○ the establishment of a laboratory which produces, or has the potential to produce pathogens dangerous to poultry or food production; and○ the storing, manufacture or use of offal or offal by-products, except where such products are frozen or in transit.• Council may refer any development application in the Tamworth Business Park to the owner of the Country Road chicken hatchery if it is considered that there may be a bio security risk to production. Where, the owner cannot demonstrate that there is no potential hazard, Council may refuse the application on those grounds.



STEP

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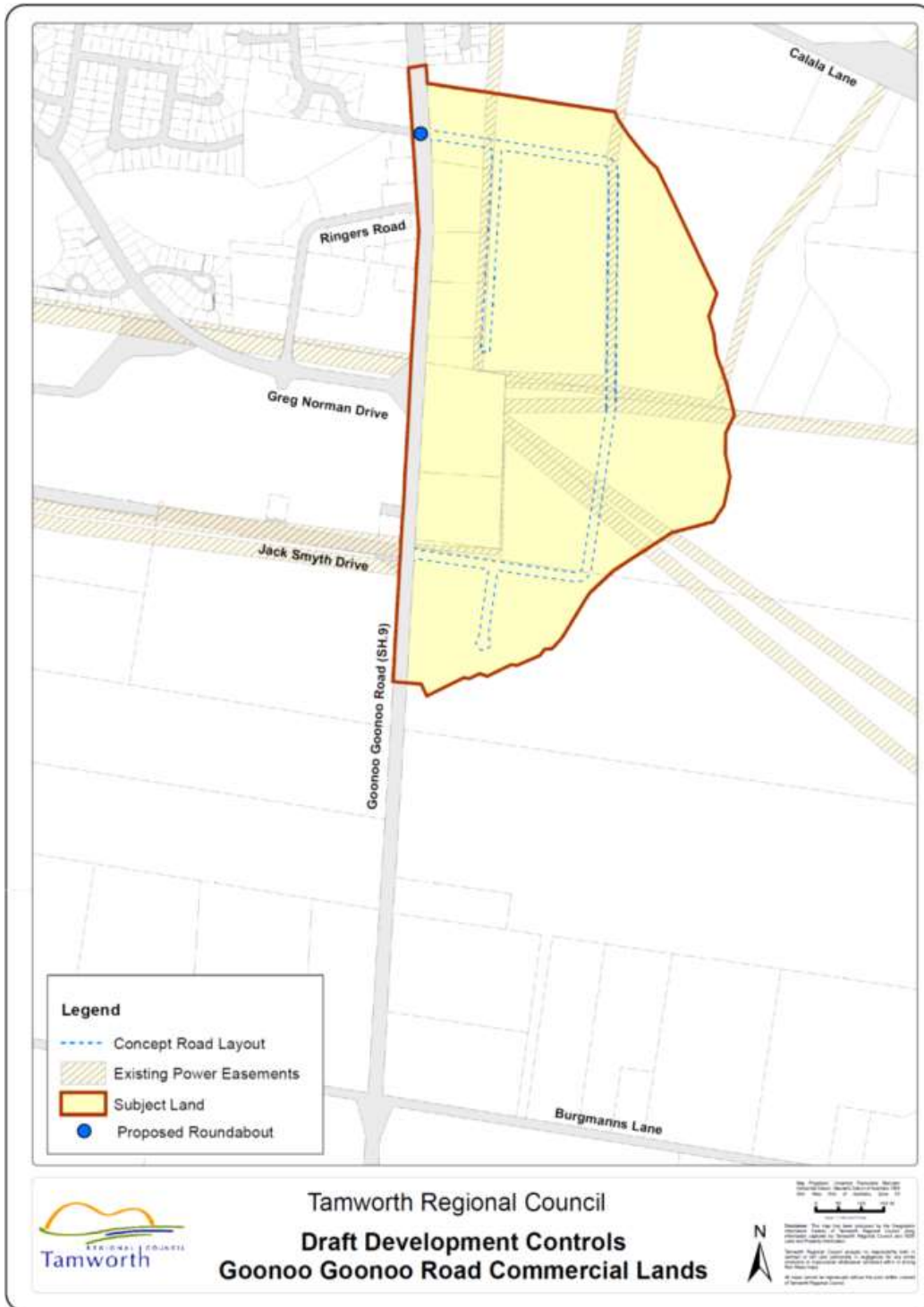
Tamworth Regional Council Development Control Plan 2010

STEP 5: SITE SPECIFIC

Goonoo Goonoo Road Commercial Lands Precinct

These are the development controls relating to development in the Goonoo Goonoo Road Commercial Lands Precinct as identified on the DCP Maps. Please note, **Step 2 – Type of Development** and **Step 3 – General Development Specifications** requirements may also apply to your development.

Development Controls Chapters	<ul style="list-style-type: none"> Development within the Goonoo Goonoo Road Commercial Lands Precinct is required to comply with the Industrial Development Controls Chapter and/or the Commercial/Retail Development Controls Chapter, except as otherwise nominated.
Subdivision	<ul style="list-style-type: none"> Subdivision proposals must be consistent with the prevailing subdivision pattern as per the Goonoo Goonoo Road Commercial Lands DCP Map.
Drainage	<ul style="list-style-type: none"> Development applications shall include an assessment of the impact of the stormwater discharge on downstream capacity and water quality. Consideration should be given for the provision of a downstream easement to Goonoo Goonoo Creek.
Road Design and Network	<ul style="list-style-type: none"> Access to the area is to be provided in accordance with the Goonoo Goonoo Road Commercial Lands DCP map. Access to the Commercial Lands Precinct is limited to two locations along Goonoo Goonoo Road: <ul style="list-style-type: none"> at Jack Smyth Drive; and at Craigends Lane. Direct access to Goonoo Goonoo Road is not permitted from the development of future allotments. Development proposals will be required to give consideration to the traffic impacts on the road network. Road connections, shared use pedestrian paths are to be generally provided in accordance with the Goonoo Goonoo Road Commercial Lands DCP map and the applicable Section 94 Contributions Plan.
Landscaping	<ul style="list-style-type: none"> A landscaping plan that details the species selected, maturity at planting, location and ultimate height shall be submitted with the development application.





STEP 4: SITE SPECIFIC

Westpac Rescue Helicopter Flight Path

These are development controls relating to development in the Westpac Rescue Helicopter Flight Path as identified on the DCP Maps. Please note, **Step 3- General Development Specifications** requirements may also apply to your development.

Protection of Flight Path

- The approach and departure paths to the helicopter landing site must be protected from obstructions.
- The protection area of each flight path shown on the plan below measures 3.5km x 150m.
- An obstacle free gradient of 2.5° must be maintained on both the approach and departure path.
- Council may refer any development application located in the flight path to the Westpac Rescue Helicopter or their nominated representative where it is considered that the flight paths may be compromised.

Flight Paths to a Distance of 3.5km from Helicopter Landing Site at Tamworth Rural Referral Hospital



Tamworth Regional Development Control Plan 2010



STEP 4: SITE SPECIFIC

Arcadia Estate

These are development controls relating to development in the Arcadia Estate. Please note, **Step 3- General Development Specifications** requirements may also apply to your development.

Desired Future Character Statement

The Desired Future Character Statements below set the Council's vision for the Arcadia Estate. Development applications must, in addition to being consistent with the Development Control Plan (DCP), support the following:

- *Provide a mixture of housing typology and lot sizes which promote greater housing choice and a diverse community.*
- *High quality urban design principles are a prerequisite for the successful establishment of the Arcadia Estate. These principles relate to street amenity, design standards for buildings and linkages between the built form and high quality recreational open space.*
- *The Burkes Gully corridor is the "green spine" for the Arcadia Estate and must incorporate the principles of a living stream which enhance the natural feature and contribute to the urban landscape and opportunity for passive recreation.*

**Other
Development
Controls
Chapter**

- Any development is required to comply with the applicable Development Control's Chapter, except as otherwise nominated below.

Subdivision

- Subdivision proposals must be generally consistent with the prevailing subdivision pattern as shown in Figures 1 and 2.
 - Where residential development adjoins land zoned RE1 Public Recreation or a drainage/natural corridor (Burkes Gully Corridor), lots are to be designed to enable a future dwelling to front the open space or Burkes Gully Corridor.
 - For optimal orientation of future residential dwellings, any subdivision must be generally consistent with Figures 1 and 2.
 - Where smaller lots are proposed they are encouraged be located close to the neighbourhood centre, public transport or adjacent to high amenity areas such as the Burkes Gully corridor or parks.
 - An alternative lot orientation may be considered where other amenities such as views and outlook over open space are available, and the design demonstrates appropriate solar access and overshadowing outcomes on adjoining lots.
 - All corner lots should be an adequate size to cater for a dual occupancy development.
-



Figure 1: Arcadia Structure Plan



Figure 2: Lot Orientation

-
- Density**
- All applications for residential subdivision and the construction of residential buildings are to demonstrate that the development meets or contributes to the net minimum residential density of 10 dwellings / hectare.

** Dwelling density – means the ratio of the number of dwellings to the area of the land to be occupied by the development, including internal streets and half the width of any roads adjoining the development that provide vehicular access to the development but excluding land use for public open space and non-residential purposes as shown in Figure 3*

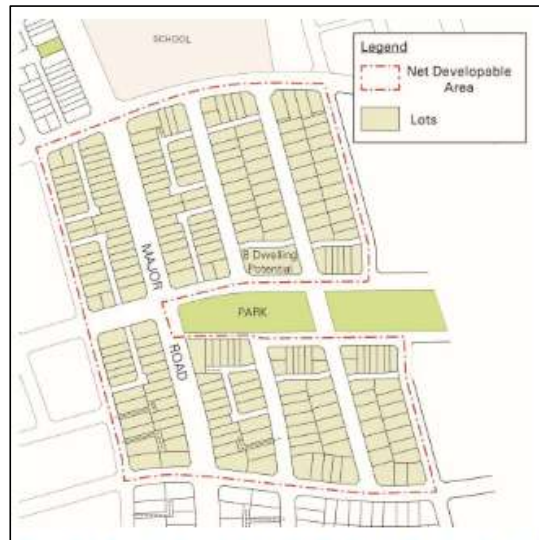


Figure 3: Example of calculating net residential density

- A variety of lot sizes and housing types are encouraged to be developed throughout the area to cater for the growing needs of the community. An example housing types and lot typology is provided in Figure 4.



Figure 4: Housing types and lot typology

Compact Lots This section of the DCP applies where development for medium density is proposed in areas identified in the structure plan as “compact lots” and has an area less than the minimum lot size shown on the lot size map of Tamworth Regional Council Local Environmental Plan 2010.

Medium density developments in these areas will be considered against the controls below and not the dual occupancy or multi dwelling controls contained in other parts of the DCP.

Controls																						
Setbacks	<ul style="list-style-type: none"> The following minimum setbacks apply; <table border="1" style="margin-left: 40px;"> <thead> <tr> <th style="background-color: #cccccc;"></th> <th style="background-color: #cccccc;">Building facade fronting road</th> <th style="background-color: #cccccc;">Building facade fronting open space or Burkes Gully (rear laneway vehicle access)</th> </tr> </thead> <tbody> <tr> <td>Front Setback</td> <td>4.5m</td> <td>3.5m</td> </tr> <tr> <td>Articulation Zone</td> <td>3.0m</td> <td>2.0m</td> </tr> <tr> <td>Setback to Garage</td> <td>5.5m and 1m behind building line</td> <td>0.5m</td> </tr> <tr> <td>Rear Setback</td> <td>6m</td> <td>6m</td> </tr> <tr> <td>Side Setback (detached)</td> <td>BCA</td> <td>BCA</td> </tr> <tr> <td>Secondary Street frontage</td> <td>2m</td> <td>2m</td> </tr> </tbody> </table> <p>Examples of the setback controls are shown in Figure 5.</p>		Building facade fronting road	Building facade fronting open space or Burkes Gully (rear laneway vehicle access)	Front Setback	4.5m	3.5m	Articulation Zone	3.0m	2.0m	Setback to Garage	5.5m and 1m behind building line	0.5m	Rear Setback	6m	6m	Side Setback (detached)	BCA	BCA	Secondary Street frontage	2m	2m
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Rear Setback	6m	6m																				
Side Setback (detached)	BCA	BCA																				
Secondary Street frontage	2m	2m																				
Articulation Zone	<ul style="list-style-type: none"> This zone allows building elements to project 1.5m forward of the front building line, and may include entry features and porticos, balconies, decks, verandahs, shading devices, pergolas and bay windows. A carport is not considered part of the articulation zone. Up to 25 per cent of the articulation zone, when viewed from above, may include building elements. An awning or other feature over a window and a sun shading feature are not included in the maximum area of a building element in the articulation zone. 																					
Private Open Space	<ul style="list-style-type: none"> Must have a minimum area of 24m² and have a minimum dimension of 4m. Must be accessible from the main internal living area. 																					

	<ul style="list-style-type: none"> The principle open space area must not include utilities or storage areas but can include hard landscaped areas and outdoor living areas.
Solar Access	<ul style="list-style-type: none"> At least 50% of the principle private open space must receive 3 hours or more of sunlight between 9am – 3pm on June 21. Any two-storey development must be accompanied by shadow diagrams which clearly identify adjacent dwellings and their principle private open space. At least 50% of the principle private open space must receive 3 hours or more of sunlight between 9am – 3pm on June 21 (winter solstice).
Privacy	<ul style="list-style-type: none"> Upper-level openings on side facades which are less than 3m from a neighbouring dwelling must be; <ul style="list-style-type: none"> At least 1.5m above the floor level; OR Screened; OR Fixed with translucent glazing. Habitable rooms overlooking the principle private open space of a neighbouring dwelling are to have sill heights at least 1.5m above the floor level. A habitable room should address the public domain to provide passive surveillance.
Landscaping	<ul style="list-style-type: none"> A minimum of 15% of the site must include soft landscaping (300m²-450m² lots). The landscaped area should be at least 1.5m wide. Landscaped open space can be considered as part of the private open space calculations. Landscaping is encouraged to define the entrances of individual dwellings. At least 25% of the area forward of the building line must contain landscaped area. Each lot must include at least 1 small tree (5m-8m at maturity) and 1 large deciduous tree (8m-15m at maturity). Councils 'Urban Street Tree Management Plan' is a guide for suitable tree species selection.
Site Coverage	<ul style="list-style-type: none"> A maximum site coverage of 60% is permitted. Site coverage includes impermeable areas such as driveways and footpaths but excludes any unenclosed balconies, decks, pergolas and the like.

<p>Parking & Garages</p>	<ul style="list-style-type: none"> Parking arrangements for each dwelling are as follows; <table border="1" data-bbox="651 293 1270 539"> <thead> <tr> <th data-bbox="651 293 1058 376">Number of bedrooms in each dwelling</th> <th data-bbox="1058 293 1270 376">Minimum Parking spaces per dwelling</th> </tr> </thead> <tbody> <tr> <td data-bbox="651 376 1058 432">1</td> <td data-bbox="1058 376 1270 432">1 (enclosed)</td> </tr> <tr> <td data-bbox="651 432 1058 488">2</td> <td data-bbox="1058 432 1270 488">1 (enclosed)</td> </tr> <tr> <td data-bbox="651 488 1058 539">3</td> <td data-bbox="1058 488 1270 539">2 (1 enclosed)</td> </tr> </tbody> </table> <ul style="list-style-type: none"> Parking of one vehicle behind another in a stack arrangement is acceptable. The garage must be setback 1m behind the building line and 5.5m from the front boundary. Only a single garage is permitted on compact lots where access is provided from the primary street frontage and the lot width is less than 12m. Double garages are permitted on compact lots where access is provided from a rear laneway or from the front if the lot width is greater than 12m. Garages located on corner lots should be accessed from secondary street 	Number of bedrooms in each dwelling	Minimum Parking spaces per dwelling	1	1 (enclosed)	2	1 (enclosed)	3	2 (1 enclosed)
Number of bedrooms in each dwelling	Minimum Parking spaces per dwelling								
1	1 (enclosed)								
2	1 (enclosed)								
3	2 (1 enclosed)								
<p>Fences</p>	<ul style="list-style-type: none"> Front fencing (all fences forward of the building line) is to be a maximum of 1.2m in height and an open style design Fencing which directly adjoins public open space or Burkes Gully Corridor must be a maximum of 1.2m in height and predominately open to ensure passive surveillance. 								
<p>Water Sensitive Essentials</p>	<ul style="list-style-type: none"> Developments must comply with the Water Sensitive Essentials nominated in both the General Housing & Ancillary Structures Development Controls Chapter. 								
<p>S7.11 Contributions</p>	<ul style="list-style-type: none"> Medium density developments located in the compact lot areas and corner lots may apply for the waiving of section 7.11 Contributions. 								

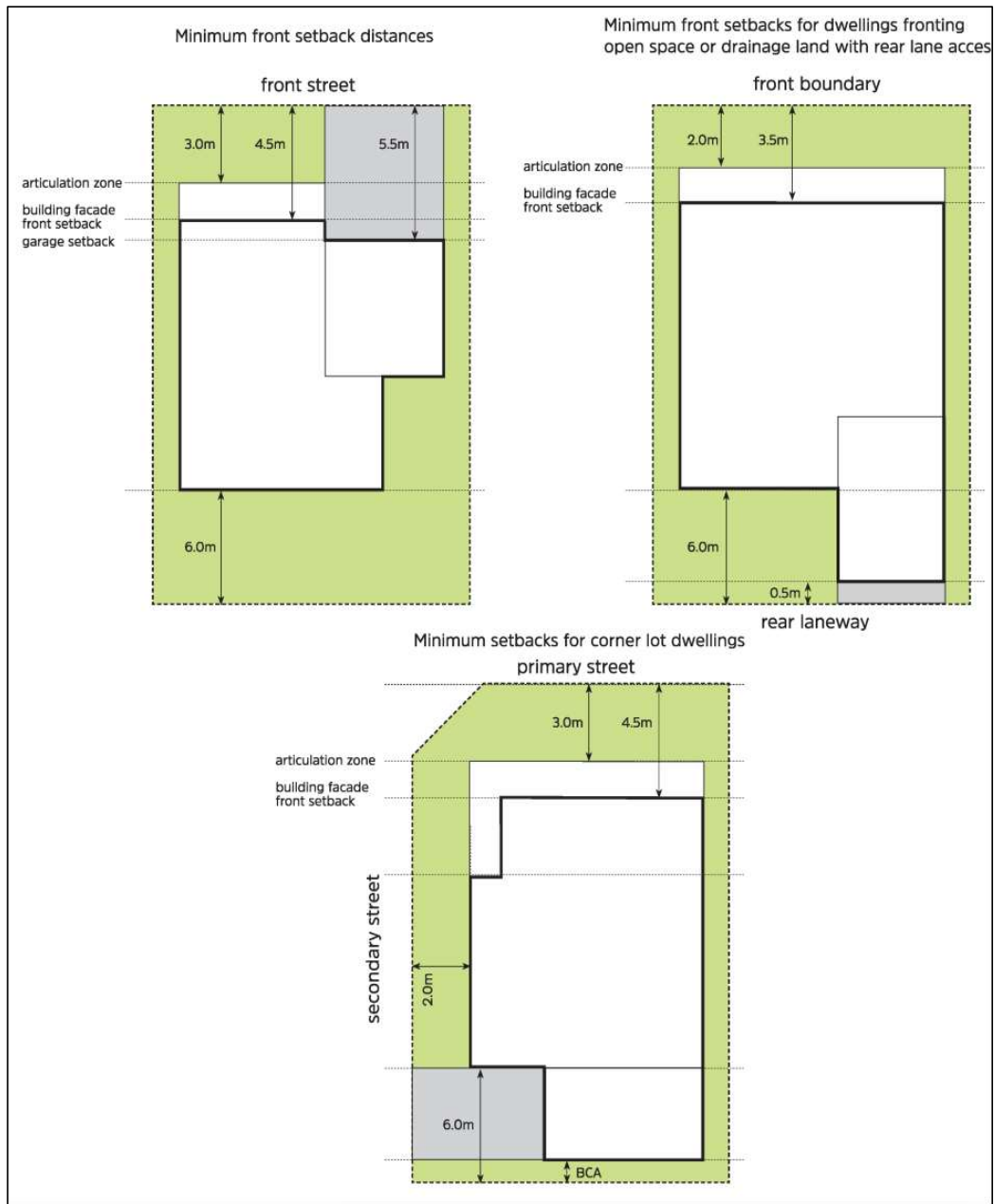


Figure 5 – Compact Lots

Dual Occupancy and Multi Dwelling Development	<ul style="list-style-type: none">Any dual occupancy or multi dwelling development outside of the nominated compact lot will be required to comply with the applicable Development Control's Chapter, must comply
Corner Lots	<ul style="list-style-type: none">All corner lots are to be designed for a dual occupancy development.All dual occupancy development on corner lots are to suitably address and provide access from separate street frontages.
Traffic, Access & Road Network	<ul style="list-style-type: none">The road layout and hierarchy of the street network must be generally consistent with Figures 6-13.Figure 6 identifies key intersections with the treatments for the identified intersections to be determined in consultation with Council staff to ensure a functional road network.Figure 6 identifies local roads which are to be 11m wide. This is based on anticipated traffic volumes, proximity to open space and neighbourhood centre. Council will only vary this where it can be demonstrated a reduced pavement width (9m wide) will not have an adverse impact on the traffic network. All other local roads can either be 11m or 9m wide.No Local Roads are to be longer than 250 metres without an intersection and/or traffic calming treatment.Traffic calming measures are to be implemented in suitable locations to reduce vehicle speeds. Traffic calming measures include passive measures such as narrowing, minimising widths of road pavements, designation of slow speed streets and use of rumble strips at pedestrian crossing points and intersections.Where two Local Road Type B (9m Carriageway) intersect each other, it must be identified how on-street parking will be managed to ensure that service vehicles can operate unimpeded.The principles of water sensitive urban design are to be considered in the road network for any new streets.The intersection treatments for the identified key intersections shall be designed in consultation with Council staff to ensure a functional road network.Direct individual lot access onto Werris Creek Road/Duri Road and Burgmanns Lane is not permitted.Persons creating allotments adjoining Burgmanns Lane are required to create restrictions on the use of land under Section 88B of the Conveyancing Act 1919 to legally deny direct vehicular access onto Burgmanns Lane.

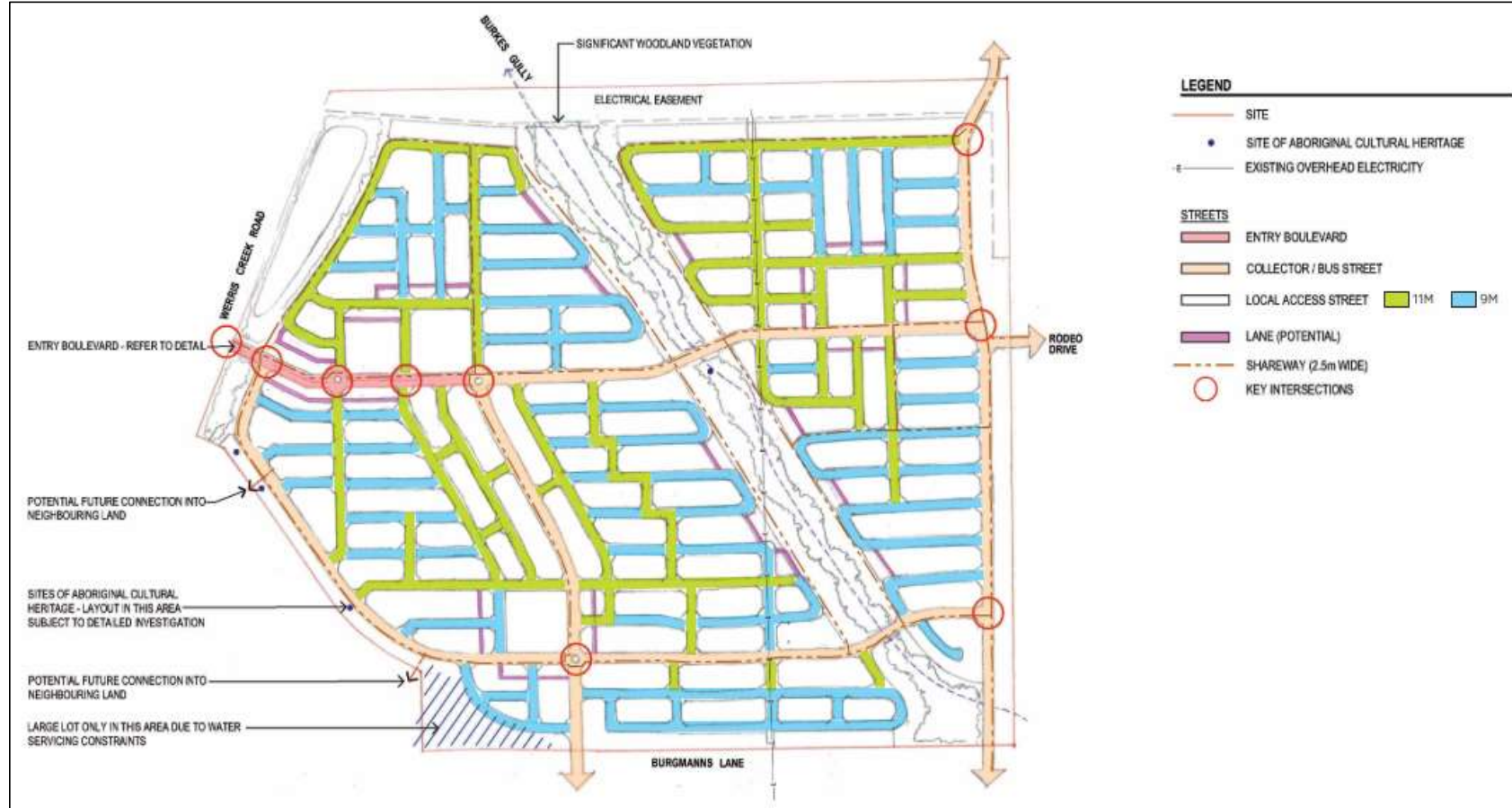


Figure 6 – Road network

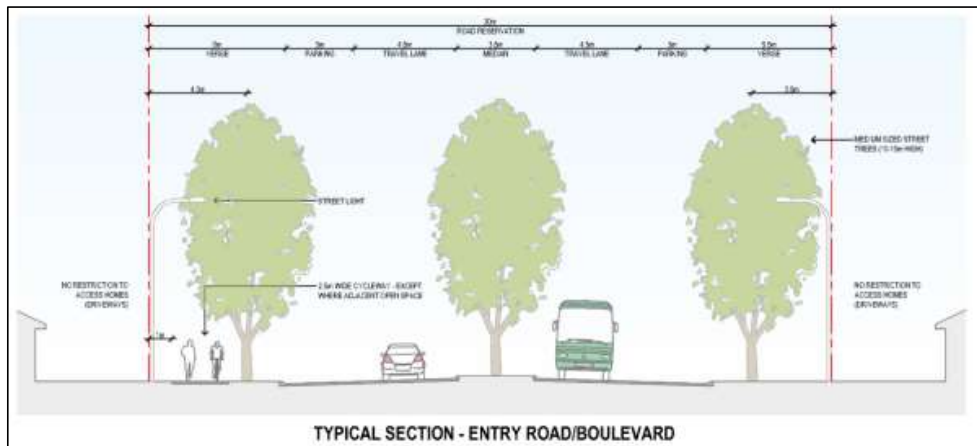


Figure 7 – Typical Section – Entry road/boulevard

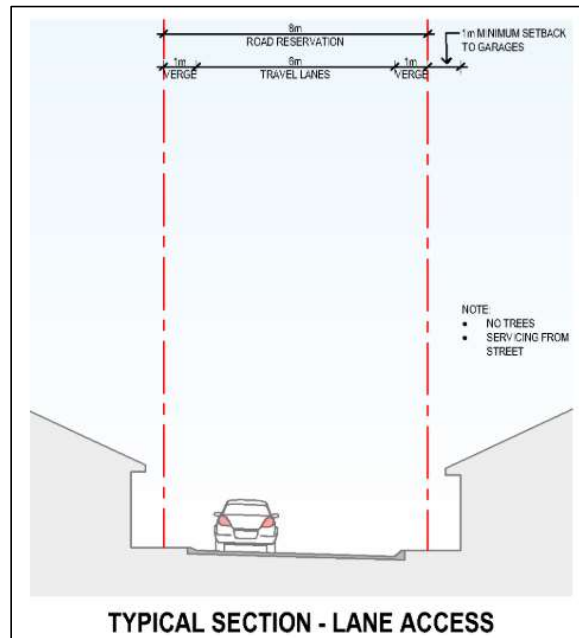


Figure 8 – Typical Section – Lane Access

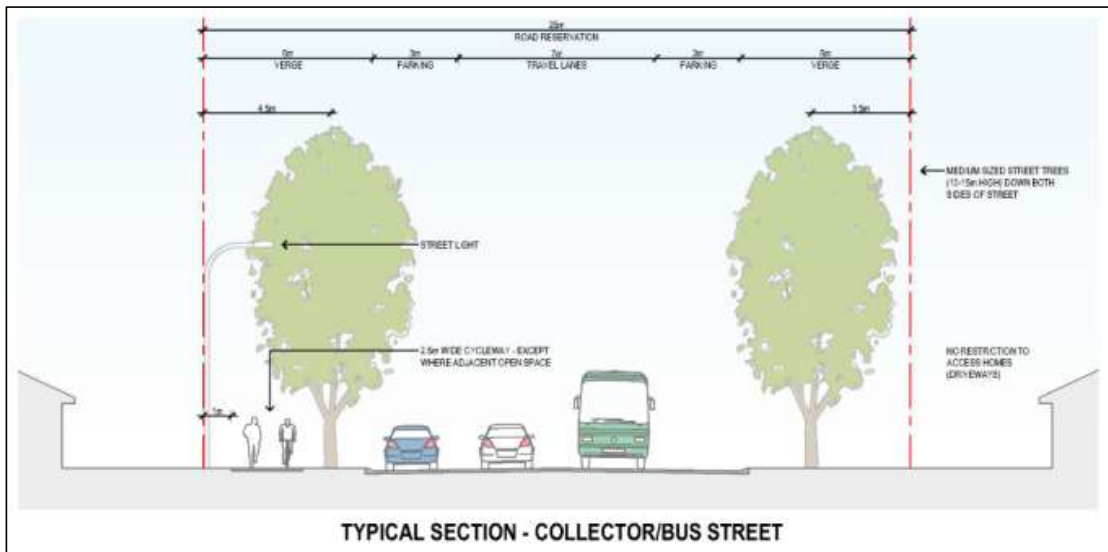


Figure 9 – Typical Section – Collector/Bus Street

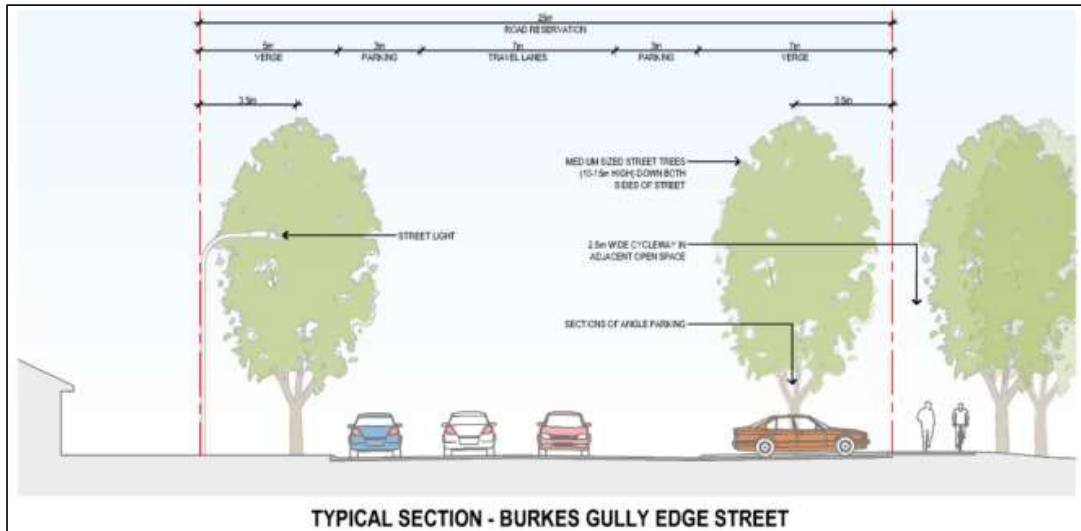


Figure 10 – Typical Section – Burkes Gully Edge Street

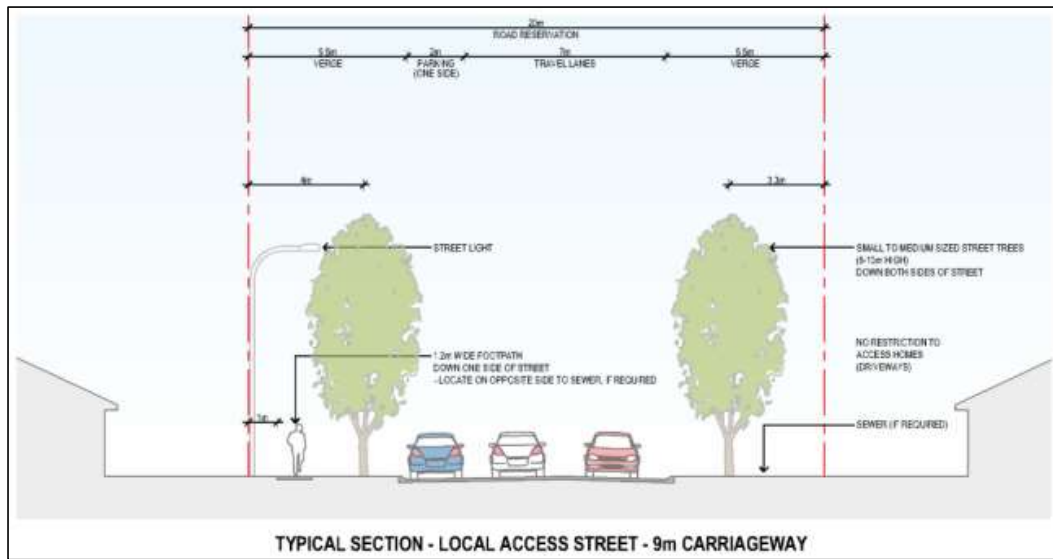


Figure 11: Typical Street Sections – Local Access Street (9m carriageway)

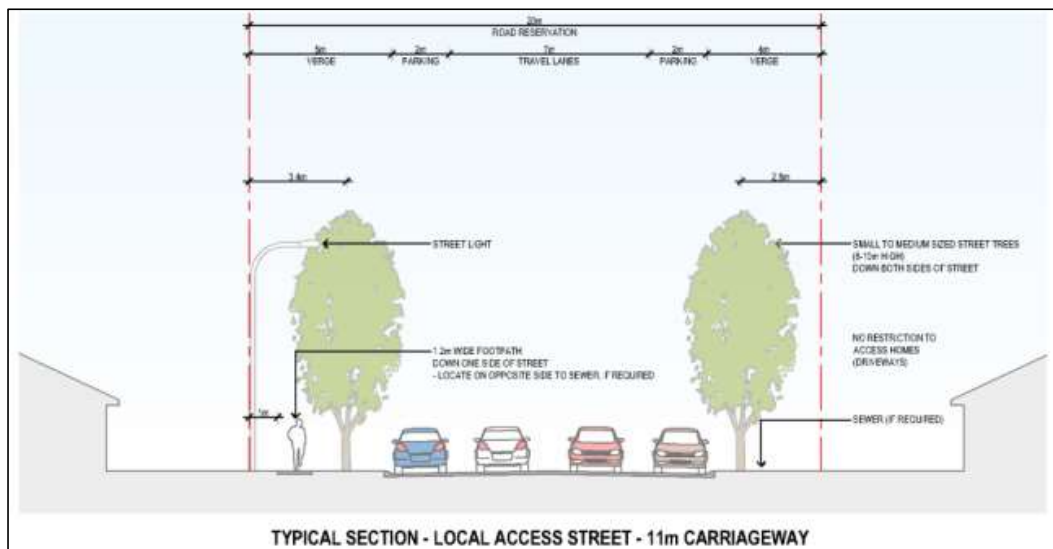


Figure 12: Typical Street Sections – Local Access Street (11m carriageway)



Figure 13: Local Street – Typical Plan and Section

Laneways	<ul style="list-style-type: none">• All lots adjoining a laneway are to exclusively use the laneway for vehicular/garage access.• Persons creating allotments adjoining a laneway are required to create a restriction on the use of land under Section 88B of the Conveyancing Act 1919 to legally deny direct vehicular access onto any other road.• All lot boundaries adjoining the laneway are to be defined by fencing or built form. The garage setback to the laneway is minimal (0.5 m) to allow overhanging eaves to remain in the lot without creating spaces where people park illegally in front of garages and/or on the laneway.
Pedestrian & Cycleways	<ul style="list-style-type: none">• Cycleways, shareways and other pedestrian facilities are to be generally consistent with Figure 14.
Public Open Space	<ul style="list-style-type: none">• Any subdivision development will require Public Open Space provisions in accordance with Figure 8 and the Arcadia Section 7.11 Contributions Plan.• Parks are to be generally located in accordance with Figure 14 and should include:<ul style="list-style-type: none">○ 2 parks to be located in western section each with an area of 2.5ha; and○ 1 park to be located in eastern section with an area of 3ha• Any subdivision development will require Public Open Space provisions in accordance with the Arcadia Section 7.11 Contributions Plan.• Areas surrounding the public open space and Burkes Gully corridor are encouraged to include provisions which would contribute to the amenity, such as a café or the like.• Stormwater detention and retention basins will be considered in areas designated as Public Open Space where the active and passive use of the space will not be diminished. Storage of excess water from events up to and including the critical 10% AEP shall be contained in underground structures, with excess storage from more infrequent events being allowed “above ground” via bubble-up structures or alternative approved mechanisms.
Landscaping & Street Trees	<ul style="list-style-type: none">• A Landscape Plan must be submitted as part of lodgement of a development application for subdivision or medium density development.• A Landscape Plan must detail the species selected, maturity at planting, location and ultimate height.• Street trees are required for all streets and each lot as shown in Figure 7. Council’s ‘Urban Street Tree Management Plan’ is a guide for suitable tree species selection.• Development applications for future dwellings located around the perimeter of Arcadia Estate are to include landscaping treatments to assist in providing buffers to adjoining land uses.
Burkes Gully	<ul style="list-style-type: none">• The Burkes Gully corridor must be generally consistent with Figures 15 and 16.• The Burkes Gully corridor must have a minimum width of 100m for its entirety. This is measured 50m either side of the Burkes Gully ephemeral drainage line.• The 100m minimum width does not take into consideration the placement of the offline basins wholly within the 100m wide corridor. It will be likely in some location’s basins will be partially located outside of the corridor which will assist in providing greater amenity by reducing a “gun barrel” effect.• Basins along the Burkes Gully corridor shall be designed to maximise usable passive recreational area and to maintain continuity of pedestrian access.• Stormwater basins adjacent to Burkes Gully must be designed as offline structures.• All roads are to be located outside of the Burkes Gully corridor.• The use of Burkes Gully as passive recreation is encouraged and details of footpaths, cycleways, seating, and other facilities are to be shown on the submitted plans• Existing trees must be retained within Burkes Gully corridor. Council will only consider the removal of a tree under exceptional circumstances where it can be demonstrated that all other options have been exhausted.



Figure 14 – Public Open Space



Figure 15: Burkes Gully corridor and section

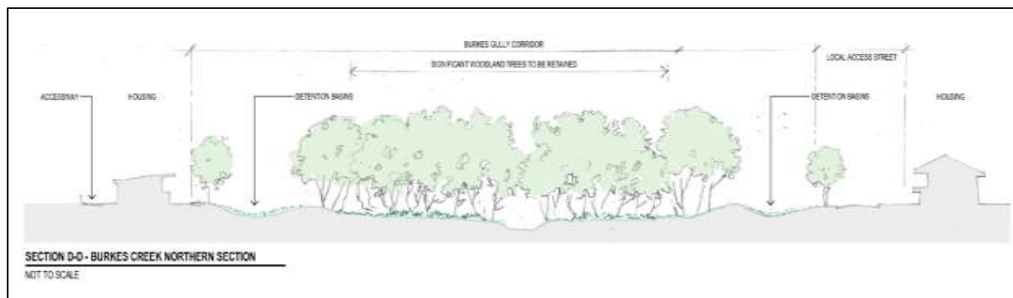


Figure 16: Burkes Gully corridor - northern section

Drainage	<ul style="list-style-type: none"> Basins and spillways are to be designed to minimise risk to downstream properties in the event of overtopping or failure. The upstream batters on the basins are to be designed acknowledging safety and passive recreation consideration, especially with respect to batter slopes. Steep sided basins should be avoided wherever possible.
Water	<ul style="list-style-type: none"> All lots must be serviced by reticulated water in accordance with the Development Servicing Plan. The south-west corner (hatched blue in Figure 1) cannot be supplied with mains water above the 425m contour. The design of these lots will need to ensure a portion of the future lots are below the 425m contour to suitably site a water meter. The remainder of the lot would be serviced via private pump system.
Sewer	<ul style="list-style-type: none"> All lots must be serviced by gravity connection to reticulated sewer in accordance with the Development Servicing Plan. A sewer pump station and low-pressure sewer systems would not be supported by Council for the provision of sewer services for the Arcadia Estate. The south-west corner (hatched red in the Structure Plan) has sewer servicing constraints. If gravity sewer cannot be provided to this area, on-site sewer systems will be permitted only on lots greater than 4000m². Building Envelopes must be registered on the title of any lot greater than 4000m² to restrict the placement of a dwelling in order to not restrict the future subdivision of the lot if gravity sewer is available in the future.
Significant Woodland Vegetation	<ul style="list-style-type: none"> Removal of vegetation within the Burkes Gully corridor identified as Significant Woodland Vegetation will only be considered if supported by a report prepared by a suitably qualified ecologist and arborist. Any activities that may impact on the integrity of the habitat vegetation including under-storey clearing must be avoided.
Soil/Ground Water Vulnerability	<ul style="list-style-type: none"> Some areas within the precinct may be affected by the presence of groundwater vulnerability and potential soil salinity which can result in the corrosion of concrete, as well as the deterioration of metal, masonry and bituminous structures/products. Further analysis may be required from a suitably qualified person indicating that consideration has been given to the possible of groundwater vulnerability in the structural design and construction of future development within the area.
Aboriginal Cultural Heritage Significance	<ul style="list-style-type: none"> Indigenous heritage items, including culturally modified trees (scarred), have been identified as being located within the Arcadia Estate. This may limit development within these locations which are to be kept clear of any works, road works or residential development. Appropriate respectful management of the sites will be required. Consultation with the Tamworth Aboriginal Lands Council shall be undertaken prior to any works commencing within the area.
Acoustic Control	<ul style="list-style-type: none"> An acoustic report from a suitably qualified acoustic engineer must be submitted with a development application for any subdivision of lots along Burgmanns Lane. The report must take into consideration Burgmanns Lane forming part of the future Western Freight Link (Figure 17). Development of lots adjoining Burgmanns Lane should comply with <i>AS3671 Acoustics – Road traffic noise intrusions – Building siting and construction</i>.

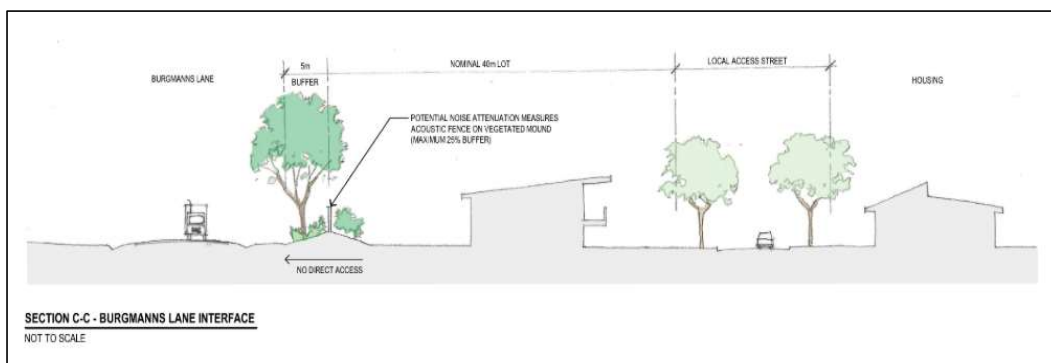


Figure 17: Burgmanns Lane Interface

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| Fencing | <ul style="list-style-type: none"> • Front fencing (all fences forward of the building line) is to be a maximum of 1.2m in height and an open style design • Secondary frontage fencing is to be a maximum of 1.5m in height and the portion above 1.2m in height is to be an open style design • Side fencing aligned with the front fencing must provide a raked transition to the front fencing. • Side and rear boundary fencing may be 1.8m in height. • Fencing which directly adjoins public open space or Burkes Gully Corridor must be a maximum of 1.2m in height and predominately open to ensure passive surveillance. • Notwithstanding the above provisions, pressed metal (colorbond) fencing is permitted along the laneways and behind the front building line. |
| Environment | <ul style="list-style-type: none"> • Existing trees are to be incorporated within the lots. Dwelling configurations and ground level should ensure existing tree health and longevity. • The principles of water sensitive urban design are to be considered as part of any development. |
| Neighbourhood Centre | <ul style="list-style-type: none"> • The neighbourhood centre corridor must be generally consistent with Figure 18. • Development Applications that include the first stage of development in the neighbourhood centre must be accompanied by a Streetscape Strategy which should address, but not limited to, elements such as <ul style="list-style-type: none"> ○ Interface with public roads and open space; ○ Pedestrian pavement details; ○ Landscape planting; ○ Public artwork; ○ Seating; ○ Lighting and signage; ○ Bus shelter; and ○ Bike racks. ○ Water sensitive urban design principles • All commercial buildings are to address public roads and any public open space with an active frontage. • Buildings should be of a human scale and be comprised of varied materials and finishes such as brick, timber and stone. Articulation of the frontage is required to provide further interest and visual appeal. • Large expanses of blank, unarticulated façade/walls must be avoided. The maximum length of any unarticulated facades/walls fronting a public street or open space shall be no greater than 6m. Council may consider alternative outcomes to add aesthetic appeal, activate a wall, or facilitate a logical method of construction if it can be demonstrated the design achieves the desired outcome as agreed by Council. |

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- Under awning signage is to be generally consistent in theme and character.
 - Continuous awnings are to be provided alongside retail and commercial properties.
 - Loading bays are to be accessed from the rear laneways or secondary streets. All loading docks are to be screened from view via a combination of solid wall and plantings
 - The interface between the neighbourhood centre and adjoining residential area must be carefully considered to ensure a suitable transition. This will include design details of rear commercial buildings, parking and landscaping treatments
 - Shop top housing is encouraged in the B1 zone and may provide a suitable transition to adjoining residential areas.
 - On-site parking is to be provided at a rate consistent with the parking provisions contained elsewhere within this DCP and is to be situated to the rear of the premises as depicted in the Structure Plan
 - All development proposals within the neighbourhood centre will be the subject to detailed design negotiations between the proponent and Council to ensure high quality development outcomes, including site planning, building design, massing, car parking, environmental suitability and public domain treatments.
 - End of trip facilities (e.g. bike racks / shower facilities) should be incorporated into the design of commercial buildings.
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Figure 18: Neighbourhood Centre



Tamworth Regional Development Control Plan 2010

STEP 4: SITE SPECIFIC

Tamworth Global Gateway Park (TGGP)

These are development controls relating to development in the Tamworth Global Gateway Park (TGGP) Precinct as identified on the DCP Maps. Please note, **Step 3- General Development Specifications** requirements may also apply to your development.

Desired Future Character Statement

The Desired Future Character Statements below set the Council's vision for the Tamworth Global Gateway Park Precinct. Development applications must, in addition to being consistent with the Development Control Plan (DCP), support the following:

- *The TGGP should seek to support a wide range of compatible general and heavy industrial land uses such as import/export freight and logistics, manufacturing and food production that service the local and regional community and the intermodal/ airport facility.*
- *Developments should be of a high environmental design presenting a positive green image for the Tamworth LGA and adjoining regions. This will be achieved by complying with these development controls. Environmentally sensitive developments are encouraged.*
- *The siting of buildings on all lots should reflect the prescribed controls for front, rear and side setbacks to ensure setback control patterns are consistent throughout the TGGP.*

**Industrial /
Commercial
Development
Controls Chapter**

- Any Industrial or Commercial Development within the Tamworth Global Gateway Park (TGGP) is required to comply with the Industrial / Commercial Development Controls Chapters in this DCP, except as otherwise nominated below.

**Rail Freight
Intermodal**

- The northern section of the TGGP, as shown light blue (Infrastructure) on the TGGP Precinct Plan (see at the end of this chapter), is identified for the future development of a road and rail freight intermodal facility in combination with the activities associated with the Tamworth Regional Airport.

Development Applications in this area must address any impacts (positive or negative) on the current and/or future operation of the intermodal facility.

- Design Provisions**
- Architectural interest should be incorporated into the building design to address the primary street frontage.
 - Buildings must be designed to address all street frontages with façade treatment and articulation features on elevations to achieve a high-quality streetscape presence. This may include low-scale building elements such as brick, painted finished concrete or light weight architectural cladding and include proportional windows.
 - Entries to buildings should be clearly visible to pedestrians and motorists and be integrated into the form of the building.
 - Building design and orientation shall consider the privacy (noise and visual) of adjoining, adjacent and/or nearby residential areas.
 - A full schedule of colours and materials must accompany the development application.
 - Blank walls and loading docks that cause significant visual impact when viewed from a residence or public road must be screened with shrubs, trees and/or decorative fencing.
 - Services such as air conditioners are to be concealed in the façade of the building or screened from public view with landscape or built elements.
 - External storage areas visible from a public road are to be screened.
 - Roofing and wall materials must be non-reflective.

- Building Setbacks**
- Building setbacks to any road frontage must be 5 metres (minimum).
 - Side and Rear setbacks must meet National Construction Code requirements.
 - Buildings must be positioned towards the front of the site to avoid large areas of open storage / work areas in front of the building line. (See Figure 1)
 - Front setback areas shall not be used for storage or display of goods or excessive signage, loading/unloading or large areas of car parking.
 - Zero side building setbacks are encouraged to reduce potential unsightly rubbish building up in unusable areas on site.

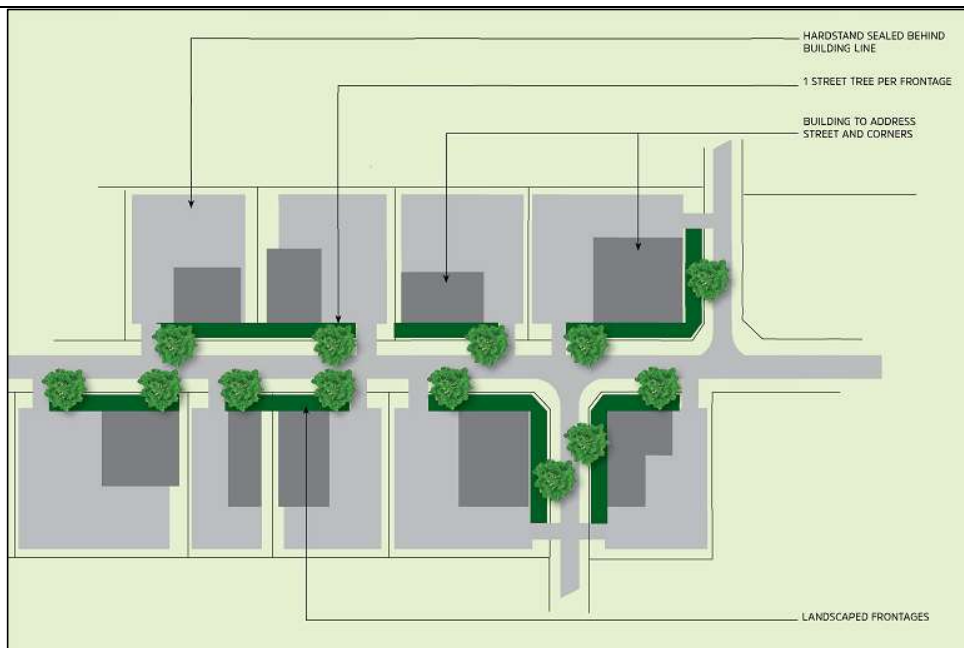


Figure 1: Typical Site Orientations

Fencing

- Fencing must be located behind or in line with the front building line.
- Fencing may be integrated directly behind the front or secondary setback landscaped area on any site (excluding Ring Road (Bandaar Drive) or Goddard Lane sites). Fencing must be an open/permeable style, incorporating pickets, slats, palings or the like.
- Open work or storage areas visible from a public place or street must be fenced by masonry materials or pre-coloured metal cladding fencing behind the building line and be of a minimum 1.8m height.
- Any front fencing (primary or secondary frontages) must not be chain wire fencing.

NB: See Figures 2 and 3 for Typical Site Layouts.

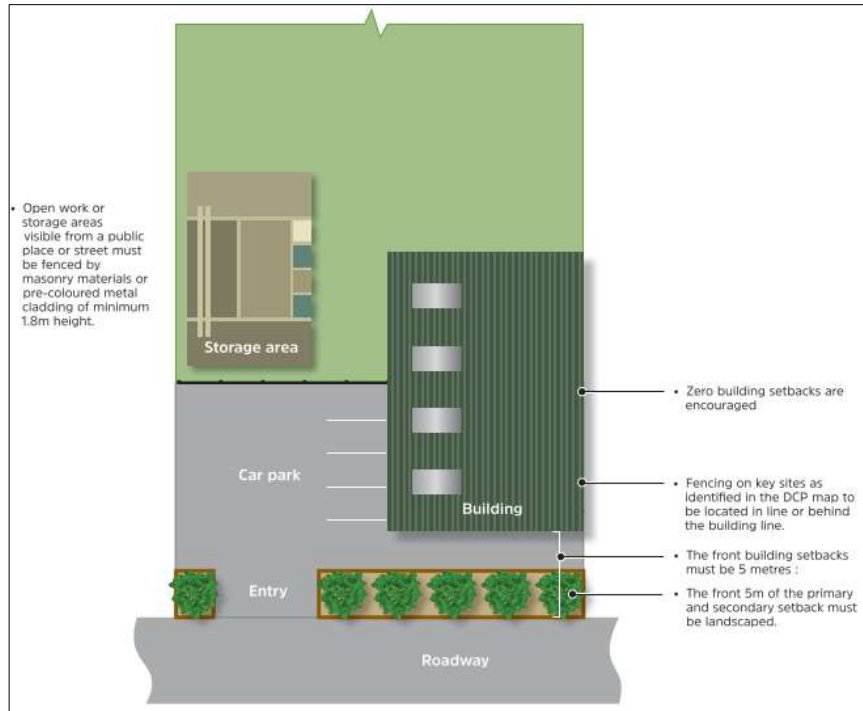


Figure 2: Typical Site Layout - Ring Road (Bandaar Drive) and Goddard Lane Sites only

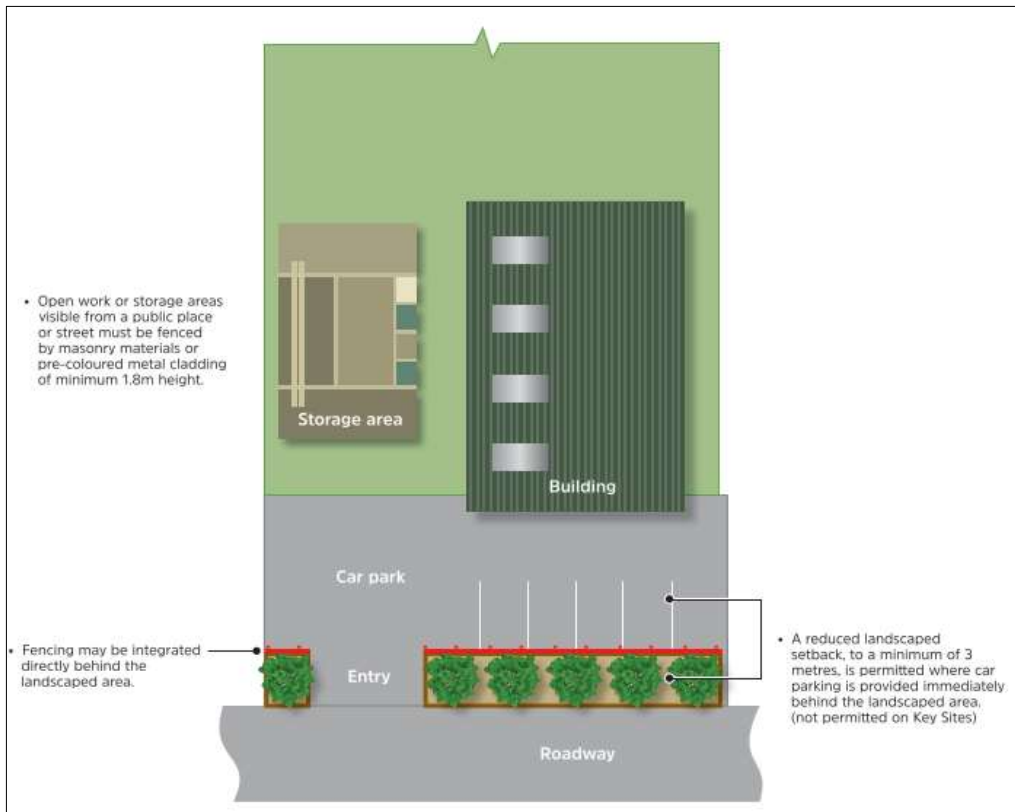


Figure 3: Typical Site Layout - All Sites other than Ring Road (Bandaar Drive) or Goddard Lane

Marathon Street Buffer

- A vegetated screening buffer of at least 20 metres wide is to be established for the length of Marathon Street on the eastern boundary of the site, as per the TGGP Precinct Plan and the Marathon Street Landscape Buffer cross section plan (Figure 4).
- The buffer is to include no less than four rows of suitable tree and shrub species to provide amenity for Westdale residents in the locality.
- No direct access (vehicular or pedestrian) is permitted into Lots from Marathon Street, other than the single pedestrian linkage identified on the TGGP Precinct Plan.
- Rear lot fencing fronting Marathon street must be installed prior to the release of any occupation certificate and must be a 1.8m high pre-coloured metal cladding fencing (pale eucalypt).

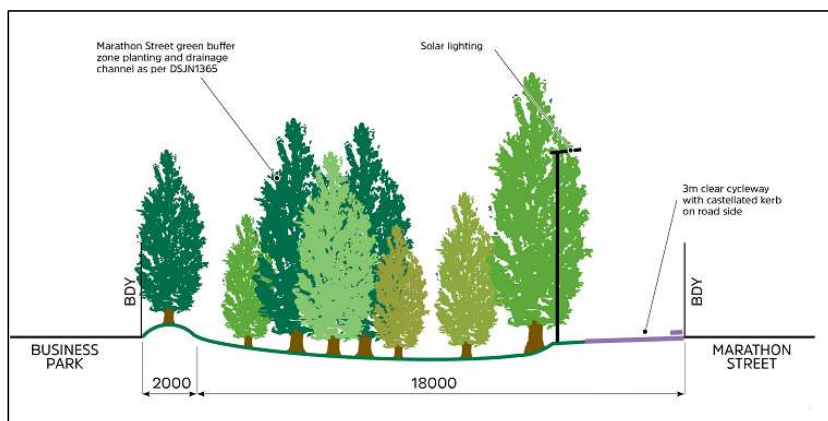


Figure 4: Marathon Street Landscape Buffer

- Murroon Creek Corridor**
- Works relating to infrastructure services and functions including; drainage, sewer, water and gas mains must consider the environmental values of the corridor.
 - Preservation of native vegetation within the entire length of the Murroon Creek corridor must be a primary design consideration. No native vegetation shall be removed without prior consent from Tamworth Regional Council.
 - Riparian buffers shall be preserved, and where appropriate be re-established (See Figure 5). The combined ephemeral zone and flood fringe (vegetated riparian zone) shall have an absolute minimum width of 30m on each side of the low flow channel. The low flow channel (channel) is defined as the low flow element of the watercourse, carrying flows from the 2 year ARI critical event.
 - Low flow channel requirement is only for the section between Oxley Highway and Ring Road (Bandaar Drive). The northern section of Murroon Creek Corridor shall be a more defined channel directing flow to Wallamore Road.
 - Development applications shall include an assessment of the impact of the stormwater discharge on downstream capacity and water quality.
 - Concrete lined channels are not permitted in the Murroon Creek Corridor.

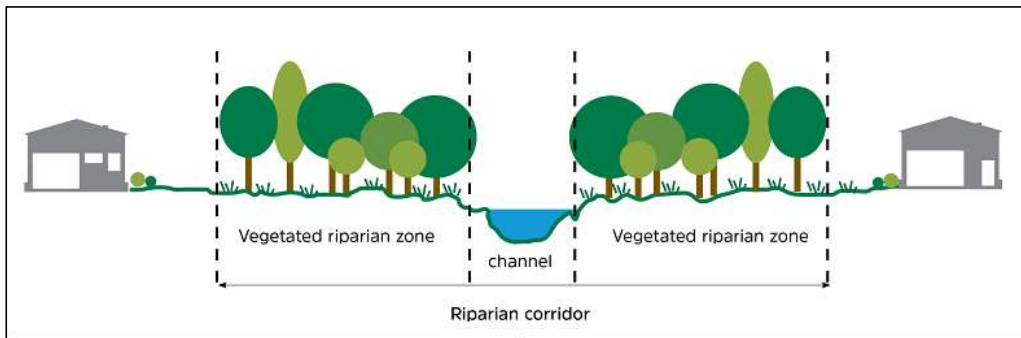


Figure 5: Murroon Creek Riparian Corridor

- Central Ranges Pipeline**
- A statutory zone of influence of 169 metres either side of the Central Ranges Gas Pipeline that traverses the site, as shown on the TGGP Precinct Plan must be established (APA Group - *APA Safety Management Strategy dated 15 March 2018*).
 - The following list of sensitive uses that are not allowed within the statutory zone of influence as according to Australian Standard AS2885.6. The list may include a number of uses that are permissible under the zone provisions and notable examples include:

Child care centres;	theatre
Correctional centres;	hospital
Educational establishments;	hotel or motel accommodation
Entertainment facilities;	medical centre
Function centres;	places of public worship
Highway service centres	respite day care centre
Service stations	retail premises
home based child care	seniors housing
- Development within this area requires consent and must consider the provisions of the APA Safety Management Strategy dated 15 March 2018 and be referred to APA for comment.
- Development applications subject to the Central Ranges Gas Pipeline development controls will not be fast tracked.

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| Oxley Highway Buffer | <ul style="list-style-type: none">• A vegetated screening buffer of at least 10 metres wide is to be established for the length of Oxley Highway between Goddard Lane and Murroon Creek corridor, as per the General Landscaping Arrangement (Figure 6) and the Oxley Highway Landscape Buffer cross section plan (Figure 7).• A vegetated screening buffer of at least 5 metres wide is to be established for the length of Oxley Highway between the Murroon Creek Corridor and Marathon Street, as per the General Landscaping Arrangement (Figure 6). |
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| Site Landscaping | <ul style="list-style-type: none">• A landscaping plan that details the species selected, maturity at planting, location and ultimate height is required. Landscaping shall comprise only low maintenance, drought and frost tolerant species.• The front 5m of any primary and secondary setback must be landscaped.• A reduced landscaped setback, to a minimum of 3 metres, is permitted where car parking is provided immediately behind the landscaped area. (Not permitted on the Ring Road (Bandaar Drive) or Goddard Lane sites) (See Figure 3)• Landscaping of sites fronting Goddard Lane and the Ring Road (Bandaar Drive) is a key outcome, aimed at encouraging a high-level presentation along these key roadways. Development Consents for Ring Road (Bandaar Drive) or Goddard Lane fronting sites will include provision for a maintenance bond to ensure that agreed landscaping is established and maintained for a period of two years from issue of an Occupation Certificate. Bonds will be based on 30% of the agreed value of the established landscaping.• The developer responsible for subdivision resulting in lots fronting Goddard Lane and the Ring Road (Bandaar Drive) will be required to lodge with Council sufficient funds to permit the planting of one street tree per lot, or two street trees in the case of corner lots, but in any case, with a spacing of no more than 50m along the respective street frontage.• Street trees will be tube stock, or bare root stock in the case of deciduous trees. |
|-------------------------|--|

***NB:** The value of the funds shall be calculated based on the cost per street tree as nominated in Council's Annual Fees and Charges document. The funds will be utilised by Council to purchase and plant street trees when the subdivision is 75% occupied or at the end of two years, whichever occurs first. The theme of trees and shrubs to be planted shall be identified in the landscape plan and approved by Council based on criteria including suitability to site conditions, compatibility with existing vegetation and planting themes for the locality.*



Figure 6: General Landscaping Arrangement

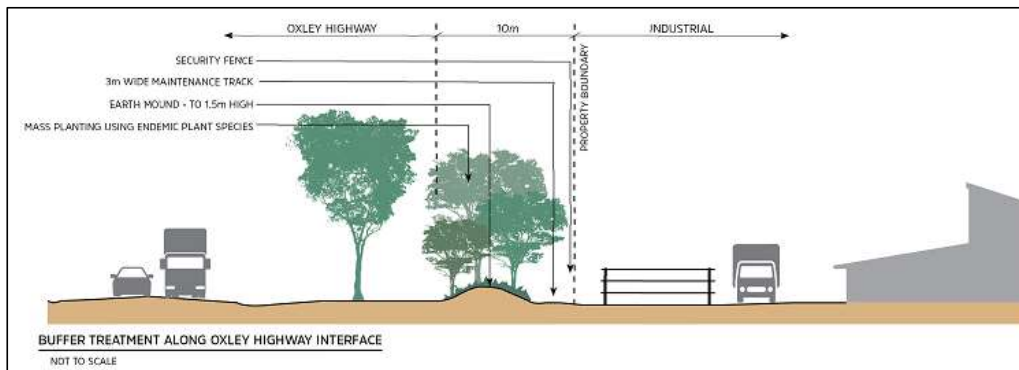


Figure 7: Oxley Highway Landscape Buffer

- Road Design and Network** • The internal road layout will connect with the 'ring road' (Bandaar Drive) to accommodate the varied development on the site. An indicative internal road layout is shown on the TGGP Precinct Plan.

Roads Reserve	Width
Ring Road (Bandaar Drive)	32 metres
Spine Road	36 metres
All other roads	28 metres

NB: Cross sections of Ring Road (Bandaar Drive) and All other Road reserves in shown in Figures 8A & 8B.

- The road layout shall be designed in accordance with the Tamworth Global Gateway Precinct Design Criteria Report and The TRC Engineering Minimum Standards.
- The road reserve shall be designed at an appropriate width to allow for future recycled water connections.
- Subdivisions must incorporate an alternative movement network consisting of cycleways and shared pathways with the objective of facilitating non-motorised movement within and beyond the estate.
- Cycle ways shall be designed in accordance with the Cycleway Concept Plan. (Figure 9)

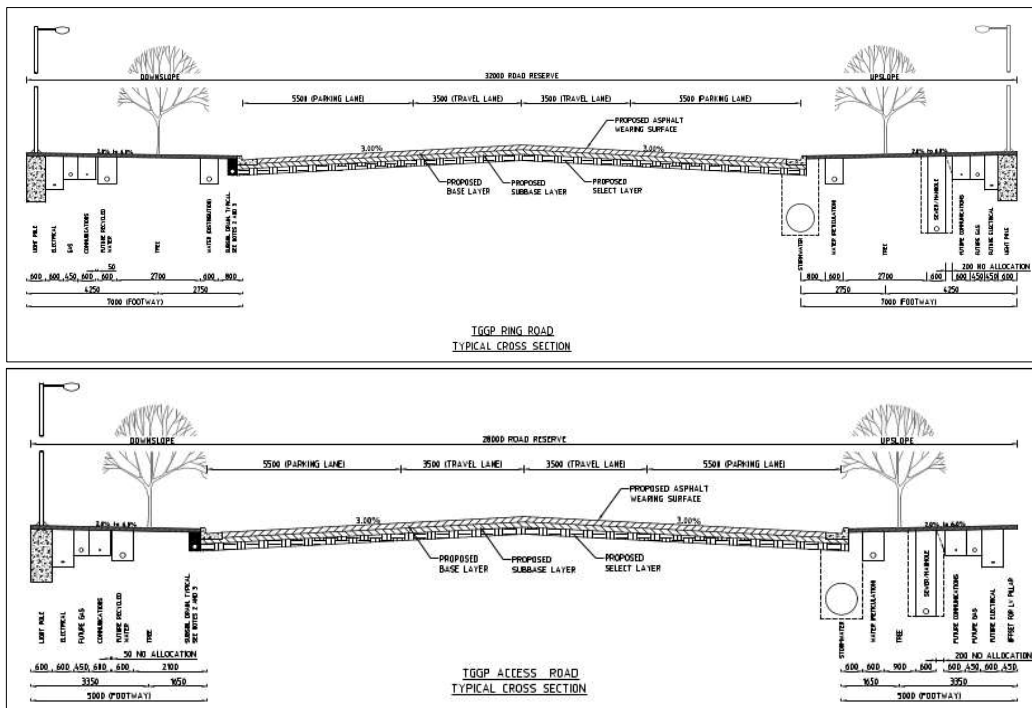


Figure 8A – Typical Road Cross Sections – TGGP Ring Road (Bandaar Drive)

Figure 8B – Typical Road Cross Sections – TGGP Access Road

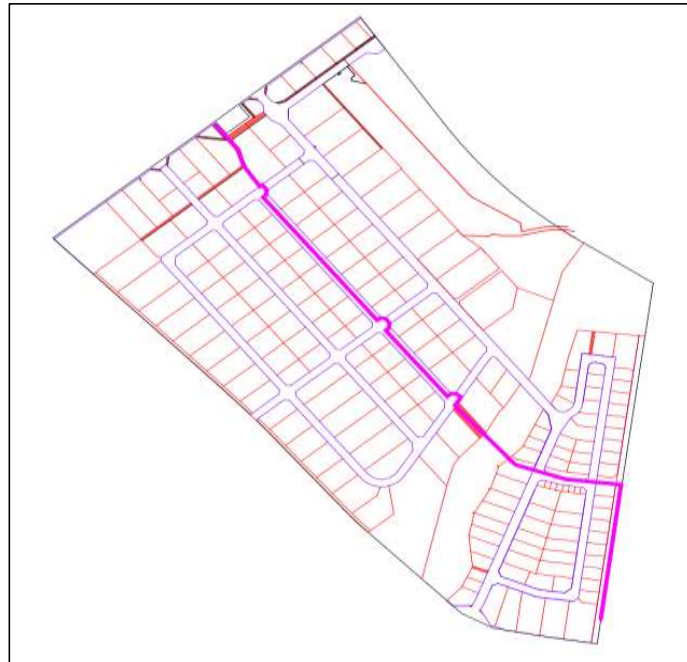
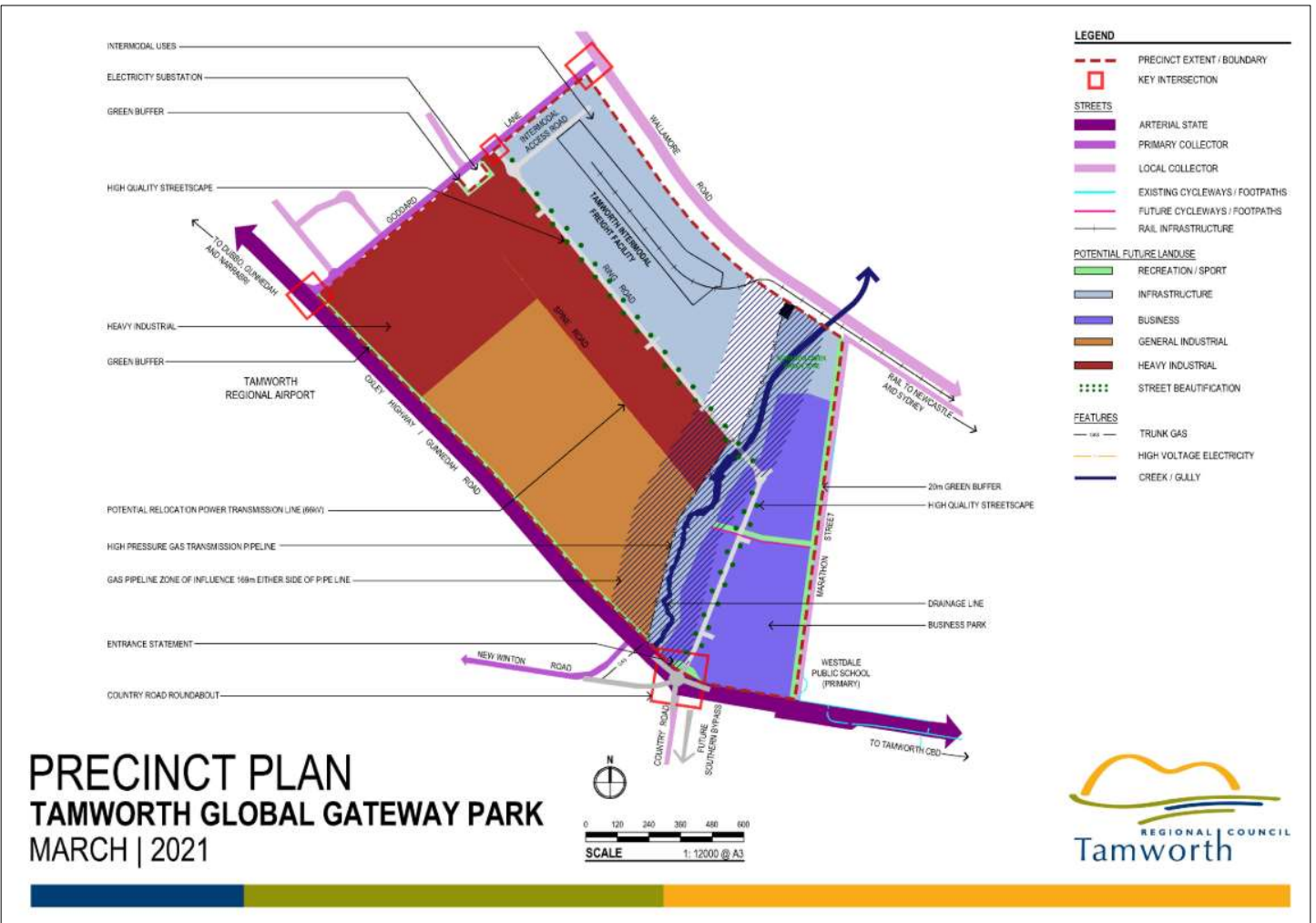


Figure 9 – Cycleway Concept Plan (Pink Line)

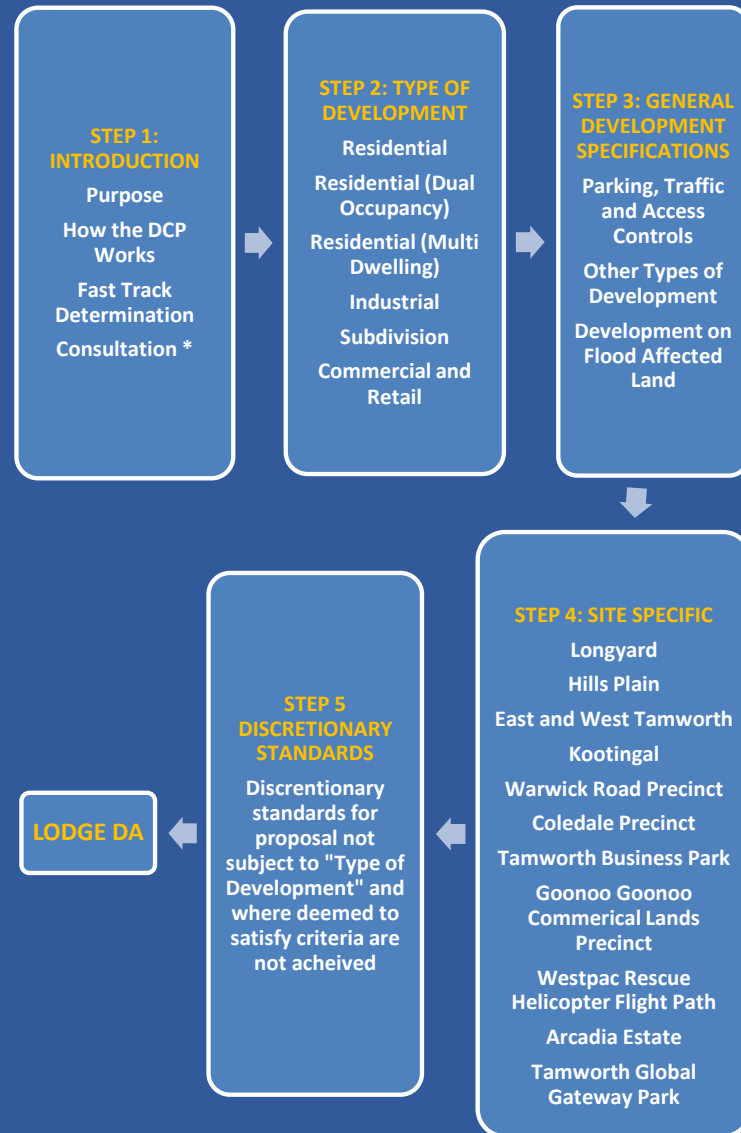
Traffic and Access	<ul style="list-style-type: none">• Development that is traffic generating development and requires referral to Transport for New South Wales will not be fast tracked.• Development application plans for lots fronting Goddard Lane are to incorporate road widening of 5 metres on the eastern side for the length of Goddard lane.• The principal access points to the TGGP are from the Country Road five-way roundabout and from Goddard Lane. A major 'ring road' (Bandaar Drive) is to connect these points of access as per the TGGP Precinct Plan.• Direct lot access from Oxley Highway, Marathon Street and Goonan Street will not be permitted.• Proposals that include unsealed vehicle manoeuvring areas must install a mechanism (such as shaker plates or a wash down area) to ensure no transfer of dirt from the site onto the road reserve will occur.
Parking	<ul style="list-style-type: none">• Refer to <i>Step 3: General Development Specifications – Parking, Traffic and Access Controls</i>
Signage	<ul style="list-style-type: none">• Development Applications seeking to display signage to the Oxley Highway should include an assessment of the road safety criteria under Part 3 of the Transport Corridor Outdoor Advertising and Signage Guidelines.
Noise	<ul style="list-style-type: none">• Windows, doors and other wall openings shall be arranged to minimise noise impacts where the development is located adjoining or adjacent to existing residential areas.• External plant (generators, air conditioning plant etc.) shall be enclosed to minimise noise nuisance where the development is located adjacent to existing residential areas.• Details, including the proposed location of external plant shall be submitted with the development application.

Tamworth Regional Airport	<ul style="list-style-type: none"> • Development applications that are located within the flight path or likely to adversely affect aircrafts or the airport facility must be referred to the owner/operator of the Tamworth Regional Airport. • Factors affecting the operation of the Airport must be considered including light glare, plumes, bird attractants. • Development applications that must be referred to the Airport will not be fast tracked. • A condition will be imposed on any development consent to require that notification be provided to the Airport Manager a minimum of 21 days before the operation of a crane for building work. • The Tamworth Regional Local Environmental Plan 2010 contains controls relating to the construction of buildings within the vicinity of the Tamworth Airport, which may impact on the height and construction standards.
Aboriginal Cultural Heritage	<ul style="list-style-type: none"> • Indigenous heritage items have been identified as being located within the TGGP Precinct. Development Applications involving subdivision of land will be required to undertake an archaeological assessment of the proposed development site. • Consultation with the Tamworth Local Aboriginal Lands Council shall be undertaken prior to any subdivision approval. • Appropriate management of any artefacts / sites located will be required.
Water, Sewer Stormwater and Gas Utilities	<ul style="list-style-type: none"> • All lots within the Precinct are to be serviced by reticulated water and sewer in accordance with the Water/Sewer Authority's Tamworth Water Supply Servicing Strategy and Tamworth Sewer Strategy. • Wherever practicable rainwater storage shall be integrated into downslope landscaping to encourage water sensitive design practices and sustainability of the landscaping and buffers onsite. • Voluntary on-site retention and re-use will be supported, but shall not be taken into account when designing the estate-wide collection and conveyance systems. • All stormwater flows generated as a result of development should be designed to minimise reliance on reticulated water. • The stormwater design for this estate has been based on collection and conveyance of unattenuated stormwater runoff from individual lots within the road and drainage corridors. As such, no detention or retention is assumed required in the lot provided all stormwater is directed into the road reserves and drainage reserve as appropriate. • Servicing designs shall make allowance for reticulated gas and non-potable water throughout the estate as nominated and in consultation with Council. This includes the provision of strategic pre-laid crossings and / or ducts under roadways and driveways.
Per-and Polyfluorinated Alkyl Substances (PFAS) Issues	<ul style="list-style-type: none"> • PFAS contamination is known to have occurred in connection with the historical operation of the Tamworth Regional Airport. Studies show very minor levels of PFAS in the development area. (Refer to Geologix Detailed Site Assessment Report, December 2017) <p>Subdivision and building proposals are to assess PFAS implications for the proposed development sites. In particular, the site of the 1995 Tamair plane crash (as per Figure 10), will require testing and remediation if developed as open ground in accordance with the Detailed Assessment Report.</p>

Tamworth Global Gateway Park Precinct Plan



STEP 5: DISCRETIONARY DEVELOPMENT STANDARDS





Tamworth Regional Development Control Plan 2010

STEP 5: DISCRETIONARY DEVELOPMENT STANDARDS

RESIDENTIAL STANDARDS

1.1 Building setbacks

- a) Setbacks must be compatible with the existing and/or future desired streetscape.
- b) Side or rear building setbacks are to demonstrate no unreasonable adverse impact on the privacy or solar access of adjoining properties.

1.2 Building Height

- a) Elevated housing developments must minimise the impact on areas of predominately single storey housing.
- b) Building height must ensure that adjacent properties are not overlooked or overshadowed.

1.3 Site Coverage

- a) Stormwater runoff must not exceed infrastructure capacity.
- b) Development must be an appropriate bulk and scale for the existing residential surrounds.

1.4 Solar Access

- a) Development must have reasonable access to sunlight and must not unduly impede solar access of neighbouring dwellings.
- b) Dwellings are to be positioned to maximise solar access to living areas.
- c) Shadow diagram must include:
 - o Location, size, height and windows openings of buildings on adjoining properties;
 - o Existing shadow-casting structures such as fences, carports, hedges, trees etc.; and
 - o Topographical details, including sectional elevations where land has any significant slope.
- d) Living areas and gardens should be orientated to the north to maximise solar access to these areas.
- e) North-facing pitched roofs should be incorporated where possible to provide opportunity for solar energy collectors.
- f) Solar access should be controlled within buildings to allow warm winter sun to penetrate rooms while excluding hot summer sun by:
 - o Using horizontal projecting screens such as balconies, awnings, verandah roofs, pergolas and wide eaves; and
 - o Use of ceiling insulation.

1.5 Privacy

- a) Development must ensure that reasonable privacy is achieved for new dwellings and existing adjoining residences and private open space.

1.6 Parking

- a) Development must provide adequate off-street parking to maintain the existing levels of service and safety on the road network.
- b) Parking areas and access driveways must be functional in design.
- c) Parking areas should be visually attractive and constructed, designed and situated so as to encourage their safe use.
- d) The number of spaces is determined based on the occupation potential. Note: rooms capable for use as a bedroom, e.g. 'study' are counted as a bedroom.
- e) Any vehicle entering or leaving the driveway must be visible to approaching vehicles and pedestrians.
- f) Driveway access to a major road should be avoided where possible.

1.7 Landscaping

- a) Landscaping must enhance the quality of the built environment.
- b) Species selection and location should improve energy efficiency through reducing heat gain through windows and deflecting winter winds.
- c) Plants with low maintenance and water requirements should be selected.

1.8 Open Space

- a) Sufficient open space must be provided for the use and enjoyment of the residents.
- b) A plan shall be submitted which demonstrates that the dimensions of the open space provides for functional space, including placement of outdoor furniture.
- c) Open space areas provided must be suitably located and landscaped to obtain adequate sunlight and protection from prevailing winds.

1.9 Corner lots

- a) Development must address both street frontages.

1.10 Fencing

- a) Fencing must avoid extensive lengths of colourbond as it presents a barrier to the street.
- b) Solid fencing of a length greater than 30% may be permitted where landscaping is provided to soften the visual impact on the streetscape.

1.11 Infrastructure

- a) Surface infrastructure (e.g. tanks, clotheslines) must not be located within front setback.
- b) Surface infrastructure must not be visible from the street.
- c) Garbage storage locations must be included in landscape plan and show how they will be screened.

1.12 Outbuildings

- a) Outbuildings must not negatively affect the amenity of the streetscape.

1.13 Development near Ridgelines

- a) A ridgeline is considered an elevated section of land, visible from beyond the individual property boundary.
- b) Development shall protect key landscape features, being the dominant ridgelines and slopes and the intermediate ridges forming a visual backdrop to existing and future urban localities and places of special landscape amenity.
- c) Development should not be visually intrusive or degrade the environmental value, landscape integrity or visual amenity of land.
- d) The dwelling-house and associated buildings must not be visible above the existing skyline or any prominent ridgeline or local hill top.
- e) The dwelling-house and associated buildings will be constructed from low reflectivity building materials and incorporate colours which are visually unobtrusive in relation to the surrounding environment.

1.14 Slopes

- a) Development on slopes >15% must utilise good hillside development practice.
- b) Good hillside development practice should be implemented as per "Geotechnical Risks Associated with Hillside Development" (*Australian Geomechanics News* No.10 December 1985).
- c) Drainage is to avoid erosion of gullies, slopes and drainage lines in the locality.

1.15 Access

- a) All weather vehicle access is required to ensure that emergency services (fire, ambulance, police) are able to access the dwelling at all times.

1.16 Relocated Dwellings

- a) Dwellings proposed to be re-sited must be of a suitable standard both aesthetically and structurally.

1.17 Adaptability

- a) Adaptable housing design must incorporate practical and flexible features to meet the changing needs of residents of different ages and abilities over time. For example, hobless shower area, space for wheelchair access, height of light switches, arrangement and size of rooms,

1.18 Design Principles

- a) Design should maximise surveillance with clear sightlines between public and private places, effective lighting of public places and landscaping that makes places.
- b) Physical and symbolic barriers should be used to attract, channel or restrict the movement of people to minimise opportunities for crime and increase the effort required to commit crime.
- c) All multi-dwelling developments must incorporate the design principles of the Housing SEPP.
- d) Must be sympathetic with existing adjoining and surrounding developments in relation to bulk and height
- e) Well-proportioned building form that contributes to the streetscape and amenity.
- f) Density appropriate to the regional context, availability of infrastructure, public transport, community facilities and environmental quality.
- g) Design must demonstrate efficient use of natural resources, energy and water throughout its full life cycle, including construction.
- h) Landscape design should optimise useability, privacy and social opportunity, equitable access and respect for neighbours' amenity, and provide for practical establishment and long term management.
- i) Optimise amenity (e.g. appropriate room dimensions and shapes, access to sunlight, natural ventilation, visual and acoustic privacy, storage, indoor and outdoor space, efficient layouts and service areas, outlook and ease of access for all age groups and degrees of mobility).
- j) Optimise safety and security, both internal to the development and for the public domain.
- k) Design must demonstrate response to the social context and needs of the local community in terms of lifestyles, affordability, and access to social facilities.

INDUSTRIAL STANDARDS

1.19 Design

- a) Industrial development should enhance the character and appearance of Tamworth's Industrial areas by ensuring each development has an attractive appearance to the street with provision for landscaping.
- b) Careful site planning and the provision of adequate environmental safeguards is required to minimise impacts of industrial development.
- c) Industrial development proposed in close proximity to non-industrial uses must be compatible on both visual and operational grounds.
- d) Buildings should be designed to be energy efficient through the use of insulation, correct orientation on the site, passive solar design and other energy saving technologies.

1.20 Setbacks

- a) To ensure that adequate area is available at the front of buildings to accommodate satisfactory landscaping, access, parking and manoeuvring of vehicles.
- b) To reduce the visual impact of development on the streetscape.
- c) The optimum setback from the street frontage must be determined having regard to the following factors:
 - I. provision of landscaped area generally a minimum depth of 5m;
 - II. provision of car parking facilities, particularly for customers in a visible location;
 - III. building height, bulk and layout;
 - IV. the nature and needs of the industrial activity; and
 - V. the general streetscape.

1.21 Landscaping

- a) Landscaping should improve the visual quality and amenity of Tamworth's industrial areas through low maintenance landscape treatment of development sites.
- b) A natural buffer should be provided between development in industrial land and adjoining or adjacent non-industrial land uses.
- c) Planting must be provided in scale with the height and bulk of the building
- d) Landscaping must be provided on side and rear setbacks where visible from a public place or adjoining residential area.

1.22 Parking and Access

- a) Adequate off-street parking must be provided to maintain the existing levels of service and safety on the road network.
- b) Parking areas, loading bays and access driveways must be functional in design.
- c) Parking areas should be visually attractive and constructed, designed and situated so as to encourage their safe use.
- d) Kerb, gutter and road shoulder between the lip of the gutter and the edge of the existing bitumen seal, footway formation and paving and associated road drainage must be constructed for the full frontage of the site
- e) Access driveways across the footpath should be hard sealed, consisting of either concrete, asphaltic concrete, paving blocks or other approved material.
- f) Loading areas must be designed to ensure that standard design vehicles can manoeuvre into and out of all loading areas without causing conflict to the movement of traffic or pedestrian safety.
- g) Any vehicle entering or leaving the driveway must be visible to approaching vehicles and pedestrians.
- h) Driveway access to a major road should be avoided where possible.

COMMERCIAL / RETAIL STANDARDS

1.23 Design Principles

- a) Development must enhance the quality and character of the business precinct through the use of suitable colours, textures, material and building form.
- b) Development should provide visual interest and variation while relating to adjacent buildings.

1.24 Post supported verandahs and balconies

- a) A building owner is to provide public liability insurance to the value of \$20 million indemnifying Council against claims for damages arising from the construction of a verandah or balcony awning over the public footpath.
- b) The landowner shall enter into a Licence agreement with Council for the "air space" defined within the first floor verandah over the public footpath. An annual licence payment is required and will be reviewed annually.

1.25 Health consulting rooms

- a) Development must preserve the existing amenity of residential areas.

1.26 Parking and Access

- a) Adequate off-street parking must be provided to maintain the existing levels of service and safety on the road network.
- b) Parking areas, loading bays and access driveways must be functional in design.
- c) Parking areas should be visually attractive and constructed, designed and situated so as to encourage their safe use.
- d) Loading areas must be designed to ensure that standard design vehicles can manoeuvre into and out of all loading areas without causing conflict to the movement of traffic or pedestrian safety.
- e) Any vehicle entering or leaving the driveway must be visible to approaching vehicles and pedestrians.
- f) Driveway access to arterial and sub-arterial roads should be avoided where possible.

SUBDIVISION STANDARDS

1.27 Design Principles

- a) Subdivision design requires careful appraisal and systematic analysis of the site with consideration of all the natural and man-made constraints to ensure that its best qualities are used in the most effective way.
- b) In determining a development application for subdivision, Council will consider all the matters specified under Section 4.15C(1) of the EP&A Act having particular regard to the following:
 - slope and orientation of the land;
 - environmental constraints such as soil stability, flooding, contaminants and erosion;
 - design of roads and individual site access;
 - retention of special qualities or features such as views and trees;
 - availability and adequacy of services;
 - provision of adequate site drainage, including consideration of downstream capacity and the overall catchment;
 - provision of public open space;
 - character of adjoining subdivision;
 - relationship of the subdivision layout to adjacent land suitable for subdivision;
 - the application of Council's engineering policies/standards.

1.28 Lot size and Dimensions

- a) Lot dimensions should encourage a variety and choice in housing forms by providing lots suitable for a broad range of dwelling sizes.
- b) Residential lots should provide sufficient size and dimensions to enable the construction of dwellings and convenient on-site parking.
- c) Industrial and business lots shall provide adequate area and dimensions to enable the siting and construction of building development, the parking of vehicles and the provision of appropriate loading and servicing facilities.
- d) Subdivision must restrict urban sprawl and ribbon development within the rural environment.
- e) Subdivision must protect productive agricultural land and the prominent ridgeline in environmental protection areas.
- f) Subdivision will not be supported where it alienates and fragments "englobo" land required for future urban development.

1.29 Lot orientation

- a) Lot orientation should maximise access to daylight and sunlight for both occupiers and neighbours.
- b) Development should take advantage of any views or outlook.
- c) Development must promote energy efficiency and sustainable development through optimising solar access and shading.

1.30 Stormwater Drainage

- a) Stormwater drainage systems must be designed to prevent stormwater damage to the built and natural environment and ensure acceptable levels of health, safety and amenity.
- b) The stormwater drainage system must reduce nuisance flows to a level which is acceptable to the community.
- c) The stormwater drainage system should be easily accessed and economically maintained.
- d) The stormwater drainage system should utilise open space in a manner compatible with other uses.
- e) The stormwater drainage system must control flooding and provide escape routes for overland flows for high frequency storm occurrences.
- f) Council will only consider alternative forms of drainage including methods of on-site disposal such as retention and/or detention basins where it can be demonstrated that there is no other practical solution available. In assessing the suitability of such systems, Council will take into account ease of maintenance, public safety risk, proven functionality and cost liability for Council.

1.31 Road Network

- a) Development shall provide acceptable levels of access, safety and convenience for all road users in residential areas, while ensuring a high level of amenity and protection from the impact of traffic.
- b) Road network should separate externally-generated through-traffic flows from local access traffic and pedestrian activity in order to reduce vehicle speed, noise and pollution.
- c) Development should ensure convenient vehicular access to properties for residents, visitors and service and emergency vehicles.
- d) Road layout should accommodate public transport services that are accessible to all lots and efficient to operate.

OTHER DEVELOPMENT STANDARDS

1.32 Outdoor Lighting

- a) Temporary lighting for a period not exceeding 28 days in one calendar year may receive exemption from the controls.
- b) Search lights, laser source lights or any similar high-intensity light will only be permitted in emergencies by police and fire personnel or at their direction, or for meteorological data gathering purposes.
- c) Lighting selection and location should improve safety and reduce crime and fear.

1.33 Outdoor Advertising Signage

- a) New buildings are to integrate designated signage areas within the building form.
- b) Size, colour and design compatible with the building to which they relate and its streetscape.
- c) Signage should be clear, simple and concise. In some instances, graphic symbols may be more effective than words.
- d) Where more than one shop or business within a building, signs should be coordinated in height, shape, size and colour.
- e) Signs should not dominate their surroundings.
- f) Advertisements should be designed and located so that they do not obscure driver's views of other cars, trains, pedestrians, traffic signals and traffic signs.
- g) Advertisements should not resemble road signs in colour, shape, layout to wording in any way that may confuse motorists.
- h) Awning sign must:
 - o erected horizontal to the ground and at no point less than 2.6m from the ground;
 - o not project beyond the awning;
 - o securely fixed by metal supports.
- i) Fascia sign must not:
 - o project above or below the fascia or return end of the awning to which it is attached;
 - o not to extend more than 300mm from the fascia or return end of the awning.
- j) External light source must be at least 2.6m above the ground if the sign projects over a public road.
- k) Flush wall sign:
 - o the area of the sign shall not exceed 20% of the area of the wall on which it is fixed or painted;
 - o not project above or beyond the wall to which it is attached;
 - o face of the sign must be parallel to the wall on which it is attached.
- l) Pole or pylon sign must be a minimum of 2.6m above the ground.
- m) Projecting wall sign must be:
 - o minimum height of 2.6m above the ground;
 - o erected at right angles to the wall of the building to which it is attached.
- n) Top hamper sign must not:
 - o extend more than 200mm beyond any building alignment;
 - o extend below the head of the doorway or window to which it is attached.

1.34 Brothels and Restricted Premises

- a) A brothel must be sited so that arrivals/departures of staff and clients late at night will not cause the disruption to the amenity of the neighbourhood.
- b) Any advertising shall be discrete.
- c) Adequate car parking shall be provided for staff and clients.

STANDARDS FOR FLOOD AFFECTED LAND

1.35 General Development Requirements

- a) Development should be consistent with the principles and standards of the *Flood Risk Management Manual 2023* (NSW Government).
- b) Development must ensure safety to life and property.
- c) Development on flood affected land must be structurally capable of withstanding the effects of flowing floodwaters including debris and buoyancy forces.
- d) Development must not increase the risk or implications of flooding to existing areas.
- e) Development on flood affected land must incorporate the Australian Building Codes Board Standard - Construction of Buildings in Flood Hazards

1.36 Access

- a) If flood free access is not possible, the development must be able to achieve safe wading criteria as specified in Figure L1 of the FPM.

1.37 Industrial development

- a) Variation to the design flood planning level may be approved where Council considers strict adherence to the designed floor level to be unreasonable or unnecessary.
- b) Council may require that all electrical installations and wiring be above the flood standard and that building materials and services are in accordance with Australian Building Codes Board Standard - Construction of Buildings in Flood Hazards

1.38 Non-residential rural buildings

- a) Where it is not practical to locate floor levels above the 1% flood level, materials used in construction must be capable of withstanding inundation by floodwaters.

HILLS PLAIN

1.39 Ecology

- a) Development shall maximise retention of remaining vegetation to create strategic links through the site to regional vegetation corridors.

1.40 Drainage

- a) Drainage lines shall be protected for their habitat values, visual values, soil conservation and flood protection.
- b) Drainage shall minimise uncontrolled ponding.
- c) Road crossing and disturbance to land within 20 metres of creek lines is to be minimised.
- d) Maximise retention of vegetation within lots to improve site drainage.

1.41 Landscaping

- a) Revegetation should utilise native plant species such as those found in the book *Australian Plants Suitable for Tamworth Regional Council Areas*. Copies of this book can be found at Council's website www.tamworth.nsw.gov.au and then follow the tabs to Council and then Environment. This book, which was prepared by members of the Tamworth Group of the Australian Plants Society, also contains an introduction to the use of native plants in waterwise gardens in the Tamworth Regional Council area.
- b) The planting of exotic species will only be accepted when they are an essential part of an integrated landscape plan and are a required "feature" of the development.

EAST AND WEST TAMWORTH

1.42 Extensions or alterations

- a) Extensions or additions must not dominate the existing building.
- b) If visible from the street frontage, alterations or additions must blend seamlessly with the existing building in size, style, materials and colours.
- c) Where original roofing is expensive such as slate, corrugated iron may be used as a suitable alternative for extensions or alterations to the rear of the building.
- d) Materials and details of existing development should not be simply copied, but used as points of reference in the choice of materials, colours, details and decorations.
- e) Modern materials can be used if their proportions and details match, and colour and tonal contrast can be used as unifying elements.

1.43 New development

- a) Where there is no identifiable setback pattern, new buildings must be setback at the same distance from the street as the adjoining properties or achieve a transitional setback between the two properties on either side.
- b) Site amalgamation may be permitted where the original subdivision pattern is no longer intact and the proposed building footprints and setbacks maintain the existing streetscape character.
- c) The traditional red brick commonly used within East Tamworth or West Tamworth is appropriate for use in new development.
- d) Weatherboard cladding may be appropriate in some locations. 150mm weatherboards are generally appropriate for historic areas. They should be square edged profile unless the surrounding buildings are post 1920's.
- e) Tiles may be appropriate in areas with buildings dating to the 1900's – 1930's. Unglazed terracotta tiles are the most appropriate. The colour and glazing of many terra cotta tiles make them inappropriate.
- f) Pre finished iron in grey or other shades may be suitable in some circumstances.

ENVIRONMENTAL STANDARDS

1.44 Vegetation

- a) Existing trees may be removed from the proposed building footprint where it can be shown there is no acceptable alternative design.
 - b) All trees removed must be replaced by comparable native and mature trees.
 - c) Non-native plants may be used where they are shown to be non-invasive and pivotal to the overall amenity of the development.
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MINUTES of Meeting held
Tuesday 9 th April 2024
Attunga Public Hall

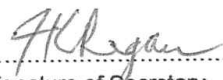
Meeting commenced at 1:00 pm

1. **Chairperson** Lorraine Abra – Welcomed all to the meeting.
2. **Present:** Lorraine Abra, Noel Hollis, Ian Regan, Vinnie Todd, Warren Brinkley, Margaret Markwick, Daron Johnson, Lisa Hannaford TRC
3. **Apologies:** Robyn Mowbray,
4. **Membership:** Application to join the general Committee was made by new attendees at the meeting. They are: Ken Blanch [REDACTED] and Jackie Blanch [REDACTED] local residents [REDACTED] Applications (subject to TRC approval) were accepted by the general committee.
5. **Risk Awareness Statement:** No risks identified including general good health confirmation expressed by all present
6. **Minutes of previous meeting:** Held 13 th February 2024 were read and accepted. Moved Ian Regan and 2nd Lorraine Abra
7. **Business arising from the previous meetings:**
 8. 7.1 Application to TRC for funding approval from Facilities improvement program (8 ceiling fans) has been approved by TRC, but work order to Contractor has not been issued. (Closed in April 2023.) No action by TRC. Representing TRC Lisa Hannaford explained that because of the cost (approx. \$8,000) three quotation were required and TRC was managing this procedure. A recommendation would be advised to the Committee and completion may be achieved by May 2024.
 - 7.2 Nishad to see Local member Kevin Anderson re assistance with funding for bicycle track at Attunga Youth Hall following letter from TRC 10th December stating "Council does not consider there is a need for additional facilities to be built at the Attunga War Memorial Park" (i.e. Youth Hall), TRC view is to consolidate any possible development at the Rec Ground.
 - 7.3 Hot water to cleaners sink complete by TRC.
 - 7.4 Provision of pump to concrete water tank not completed. No action
 - 7.5 Replacement of amenities block lighting in hallway. Not complete
 - 7.5 Attunga Tennis Courts are (apparently) complete.
8. **Correspondence In:**
 - 8.1 Correspondence from TRC re Facilities Improvement Program for 2024 are now open. With contribution towards ceiling fan installation the Hall Committee is not financially able to make an application.
9. **Correspondence Out:**
 - 9.1 On behalf of the Committee Secretary Ian Regan has provided a quotation of \$550 to the Australian Electoral Commission to hire the Hall for an upcoming polling day (possibly September). Similar arrangements to those previously agreed.

Committee Postal Address: PO Box 17 ATTUNGA NSW 2345

10. **Treasurer's Report:** Accounts as per Treasurer's Report for 9 th April 2024
The written report presented was briefly discussed. There is \$4,599.16 credit in the Hall's General Account, and a \$5,416.86 Term deposit remains with the Greater. The moderate increase in the General account is mainly due to payments made from camping fees hire of Rec Ground Hall during Country Music 2024, The work of the Hall Committee ladies in achieving the success of this activity is appreciated and acknowledged.
11. **Booking Officer's Report:**
11.1 A complimentary Anzac Day afternoon tea arranged by the Committee is next major use of the Hall.
12. **General Business:**
12.1 Preparation of a History of Attunga information sheet for visitors ongoing. Discussion was held regarding placing signage to identify the sites (with owner permission) is ongoing. May also include a QR code as well as written description if possible.
12.2 An expression of interest to use the Hall for Roller Deby activities was rejected by Booking Officer because of possible damage to the Hall floors. All in agreement.
12.3 Need to update Strategic Business Plan by Secretary. WIP.
12.4 Query regarding Hall water bill. Seems to be excessive because of little use of Hall. Daron Johnson to check if there is any unauthorised use.
12.5 Treasurer advised that a petty cash book should be re-established because Post Office was no longer accepting payment of accounts by cheque. Moved Vinnie Todd that a maximum \$100 be allocated. 2 nd Lorraine Abra. Agreed.
12.6 Margaret Markwick requested that Attunga Public School P and C be approached to find out if they would be interested in assisting with future hiring/cleaning/rental of REC Ground Hall. To be followed up with school by Daron Johnson.
13. **Committee Projects:** (ongoing – can be added to at any time)
2.Possible fund-raising activities for the Halls was discussed to be followed up e.g. Soup and Damper Night. Jane Tyne to advise next meeting.
Trivia Night. Jackie Blanch to advise next meeting
Bush Dance. Daron Johnson /Ian Regan to advise next meeting,
14. **Business Without Notice:** included above.
15. **Next Meeting:** Proposed General Meeting for Tuesday 4 th June 2024 at the Hall at 1:00 pm. Meeting Closed at 2:15 pm. Minutes taken and prepared by Ian Regan

.....
Signature of Chairperson


.....
Signature of Secretary

23/05/24



Barraba Showground Management Committee

A Section 355 Committee of Tamworth Regional Council

GENERAL MEETING MINUTES

Meeting scheduled for GM held on 14.2.24

Commencing: 6.00 pm

At the Bowling Club

1. **Welcome by Chairperson**
2. **Present:** Greg Smith, Phil Denyer, Di Etheridge, Don Roberts, T.Crowley, Des Brittain, L.Watkins, Peter Spencer, Deb Wilson, K.Stanger W.Lavender,C.Tonkin (Chairman)
3. **Meeting commenced at** – 7.10 p.m.
4. **Apologies:** S.Hughson. Dave Penna, L.Hannaford, A.Graves.
5. **Risk Awareness Statement** – read to meeting.
6. **Minutes** from previous **GM** held on 6th December 2023 – moved T.Crowley Sec. L.Watkins – that they are true and correct – carried.
7. **Business Arising** from the Minutes of Meeting – **(a)**Plumber being contacted regarding new pump at old toilets.**(b)** Electrician is currently working on new lights etc at Grandstand and moved power box in judge's box down to better level. **(c)** Discussion on replacement of P.A. wiring at stables. Needs putting back up. **(d)** P.Spencer said Racing NSW requires the extension of running rails to be erected in front of grandstand. This section of rail has to be painted red for the last 100 metres before finish line. **(e)** TRC has advised it is our responsibility to maintain fence on western side of grounds. **(f)** New concrete has been poured outside Speed shearing shed – water has been re-connected.
8. **Correspondence In:** **None**
9. **Correspondence Out:** **None.**
10. **Treasurer's Report:** As presented to meeting – Current balance is \$20,180.99. – Committee needs to see more details in regards to these invoices to allocate correct payment . D.Roberts will write to suppliers asking for duplicate copies to be sent to Committee as well as Treasurer. These can be approved and confirmed with Treasurer for payment. Invoice from Barraba Rural Traders to be sent to Show for Payment.
11. **Booking Officers Report: (1)Tracy Fitzgerald** -6th and 7th April – 19th and 20th April – 14th 15th and 16th June. Pony Club – **(2) Pony Club** – 5.5.24, 2.6.24, 7th to 10th July, 4.8.24, 1.9.24, 29th and 30th September, 1st to 10th October, 3.11.24 (Camp) 1.12.24.
12. **Groundsman's Report:** Dick Whitton has been contacted re work required prior to Show. Des outlined work to be done. Certain areas cannot be mowed due to condition of grounds. D.Penna said Community Service workers will also be available. Most area's of Grounds are in good condition.

Committee Postal Address: PO Box 42 BARRABA NSW 2347

13. **General Business** - (a) -TRC to be contacted re pruning palm trees. (b) - D.Roberts to follow up (c) - Progress report on replacing old stables. Grant application has been lodged – (d) - New water connection to Ern Smith stables is required. Show working bee will have a look this weekend. (e) – Gypsum has been spread on camp draft area. (f) – Pavilion can be used for Show – (g) It was agreed to start using Ward Plumbing for any future work. Des outlined work that needs to be done regarding plumbing.T.Crowley will inspect this weekend. (h) Show has working bee every weekend prior to show. (i) – Re changing Electricity provider – Treasurer suggested we should look at a cheaper provider – Red Energy would be \$160.00 cheaper. It was agreed to advise Treasurer to change to this supplier. (j) An inquiry was asked about running an event in show ring – as long as insurance is in place permission was granted. (k) Di Etheridge asked about erecting shed for Pony Club on eastern side of ground – needs more details and inspection of site. (l) – Greg Smith said he had been contacted by Secretary of Jockey Club to advise it is a requirement of Racing NSW that all starting gates must be kept under cover. It was suggested the area vacated by caravan may be suitable – further discussion needed. This area is still subject to ideas for use – Committee was advised the cost of child’s play equipment would be prohibitive.
14. **Meeting closed at 8.45 p.m.**
15. **Next meeting 10th April 2024. At 7 p.m.**

Bendemeer Town Hall Committee – Meeting Minutes Page 1

<i>Type of Meeting:</i>	Ordinary	<i>Location:</i>	Bendemeer Community Hall	<i>Date:</i>	Saturday 11th May, 2024.
<i>Meeting Start:</i>	10.10 am	<i>Chairperson:</i>	Edwina Byrnes	<i>Meeting Finish:</i>	10.55 am

<i>Attendance:</i>	Winston & Anne Doak, Kerry & Carolann Brown, Edwina Byrnes.
<i>Apologies:</i>	

Minutes of Previous Meeting

The minutes of the 12th August, 2023 meeting were reviewed

Motion – That the minutes are a true and accurate record.	Moved: Carolann	2nd: Anne	Carried.
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Business Arising from the 12th August, 2023 Meeting:

Item	Outcome / Action
Increase of hall hire fees to cover electricity accounts.	Increase in hire fees appears to be sufficient at this stage.
Excess goods removed from backstage area: 29 x4 chair sets, 30 single chairs, various lengths of timber for Fergie Muster building project.	Chair sets given for a wedding function who will pass it on for another wedding after failing to sell online. Loose chairs given to Fergie Muster. Old tables dismantled and disposed.
Loose&rotten timbers removed from porch area rear of stage	Edwina has completed this project.
Front garden creation.	Has been dug up as far as fire steps. Edging still to be done.
Placement of art works in gardens.	Have approached TRC to be approved.
Strategic Plan	Six projects have been outlined and lodged with TRC.

Bendemeer Town Hall Committee – Meeting Minutes Page 2

Correspondence

<i>Incoming</i>	<i>Outgoing</i>
Emails from TRC re community notices.	Emailed to committee members & TRC re issues arising.
Emails for electricity account.	Forwarded to Anne for payment.

Treasurers Report –

<i>Account Balances:</i>	<i>Accounts to be paid:</i>
Account balance of \$4 460.17	Electricity accounts have been paid as arisen.

Moved: Anne, that the report be accepted.
2nd: Edwina

Carried.

General Business & Agenda Items

<i>Item</i>	<i>Outcome / Action</i>
AGM to be held & advertised to the local community.	Proposed date: Sunday, 23 rd June, 2024, 10am at the hall.

Chairperson _____

Secretary _____

Dungowan Hall Committee

A Section 355 Committee of Tamworth Regional Council
Committee Mailing Address: c/-Alison Leckie, 445 Ogunbil Rd, Dungowan NSW 2340

Contact Information:

Chairperson:

Name: Alison Leckie
Phone: 0411 061 064
Email: hato.leckie@bigpond.com

Booking Officer:

Name: Marie Goodwin
Phone: 0400 968 599
Email: mariegoodwin31@gmail.com

Secretary:

Name: Liz Lollback
Phone: 0427 694 274
Email: melollback1@bigpond.com

MINUTES of Meeting held November 20th 2023 At Dungowan Hall

Meeting commenced at 7.04pm

Chairperson: Alison Leckie welcomed all to the meeting.

Present: Alison Leckie, Di Brown, Margaret Brady, Robyn Thompson, Liz Lollback, Michael Lollback, John Thompson, Marie Goodwin, Alex Steinbeck

Apologies:, Jacqui Gidley-Baird, Lyn Sommerville, Wendy McRea, Suzanne O’Keeffe

Risk Awareness Statement: tabled

Volunteer sign on sheets completed

Alison thanked Committee members for coming to the meeting.

Minutes of previous meeting read: *moved* Liz Lollback *seconded* Di Brown

accepted as read

Business Arising:

- Marie has checked past power bills and there is not much difference. We need to monitor them into the future.
- Marie will purchase a tub to store the linen etc
- The contact for Yoga at the hall is not available on Sundays
- Alison has more Eremophilas to plant out the front when the weather is cooler.
- Di Brown will follow up the purchase of solar lights for the corner of the hall outside.

Correspondence:

DATE	FROM	SUBJECT	COMMENT
5/9/23	Joe Burke	Invoice for site prep	Forwarded to Jacqui
6/9/23	Jacqui to Liz et al	Flyer design	Need to add price for Bingo \$20pp - completed
16/9/23	MTG to DHC	Insulation installed	COBA structure is complete
18/9/23	Alison to Liz re pump not turning off	Pump comes on frequently	Inform Don Grant TRC New pump installed by TRC
18/9/23	Placement Management	FW: Media Release - Local Legends Awards open for nominations (close Wed 18-10-2023)	Forwarded to Committee

DATE	FROM	SUBJECT	COMMENT
20/9/23	Jodie re, event analysis	Add alcohol to risk assessment	Updated risk assessment
22/9/23	Alison re COBA	Working Bee	24/9/23 at 9.00
24/9/23	Jacqui	Unable to access square account DPS movie night December Dec 2 nd	Hall hire for DPS is \$50 Contact TRC re square account
25/9/23	Suzanne O'Keeffe	Meeting apology	Noted in minutes
26/9/23	Alison	Councillor email addresses	Printed in correspondence
29/9/23	Liz to Committee	Minutes, event planner, risk assessment, flyer	Event night planning info
29/9/23	Alison	Working bee Sunday Oct 1 st At 8.30 am	Pictures attached handrails completed, /send thank you to Hugh Leckie
1/10/23	Jacqui	Updated flyer	Printed for distribution
1/10/23	Alex Steinbeck	Updated flyer too!	As above
6/10/23	Marie Goodwin	: Dungowan Community Hall - signed premise agreement	For referendum on October 14 th at the Hall
10/10/23	Place Management	Media Release - Local Legends Awards open for nominations (close Wed 18- 10-2023) - includes Gift of Time recognition	Forwarded to Committee
17/10/23	Maura Burke	Invoice for Joe's work spreading soil	paid
19/10/23	Alison to Jacqui	Invoices for COBA expenses	Paid, noted, printed and filed in COBA
19/10/23	Di Brown	Donation of 10 boxes Ferraro chocolates	Thank you!
24/10/23	Jodie to Alison	Hall maintenance, see printed email	Ref WR0011392
27/10/23	Jodie to Liz et al	Risk assessment, emergency evac. Plan. Alcohol approval, event approval	Forwarded to committee
30/10/2023	Liz to Jacqui	Invoices for gas, flyers, food and cleaning products	Approved and paid
2/11/23	Don Grant TRC	Pump has been replaced	Note any unusual sounds, greener spots etc
3/11/23	Jodie to Jacqui et al	Square account option has been forwarded to financial division by Jodie	Awaiting outcome
3/11/23	Marie to exec	Australian Electoral Commission Remittance Advice	Payment for referendum 14/10/23
10/11/23	Marie to Exec	Sausages for event were donated by Penrose Meats	Much appreciated thank you sent
13/11/23	Jacqui to Liz	Meeting Nov 20 th	apology
13/11/23	Alison to Liz	COBA invoices	Follow up re. GST
13/11/23	Alison to Liz	Did we get a deduction for downpipes that weren't installed?	Liz and Michael follow up with MTG
15/11/23	Marg Brady to Liz	Thank you	Meeting acceptance
August 22nd to November 21st 2023 CORRESPONDENCE - OUT			
25/8/23	P/C Liz to MTG	COBA insulation	MTG will install it
28/8/23	Liz Lollback to Hugh Leckie TRC	Donation of plants	Thank you, letter, from Committee
3/9/23	Liz to Alison	Pre event analysis for event Oct 28th	Approved by TRC
4/9/23	Liz to Jodie TRC	Pre event analysis attached	Approved by TRC

DATE	FROM	SUBJECT	COMMENT
6/9/23	Liz to Jacqui	Flyer? Check power usage, "square acct"	
6/9/23	Liz to Committee	Minutes AGM and general, Chair report, Treasurer report, Letter for sponsors for Bingo	Tabled
24/9/23	Alison to Don Grant	Split water pipe from evap cooler	TRC repaired split
25/9/23	Liz to Committee Meeting reminder	Event planning on 25/10/23 at the Hall	Meeting notes tabled
2/10/23	Liz	Flyers printed and ready to distribute	Distributed follow up thank you to Posties
4/10/23	Liz to Committee	Soil at COBA has been spread	Joe Burke completed at very short notice
8/10/23	Alison to Don Grant	Thank you for evap pipe repairs. Pressure pump still coming on	New pump installed by TRC
10/10/23	Liz to Joe and Maura Burke	Invitation to Grand opening of COBA	Unable to attend
10/10/23	Liz to Laura at MTG	Invitation to Grand opening of COBA thanked for completing work before time	acknowledged
19/10/23	Liz to committee	Working Bee reminder	22 nd October at 10.00am
22/10/23	Liz to Place Management	Minutes, 2023 committee	filed
23/10/23	Jacqui to NICU	Request for float, school will need to pay \$50 for hall hire on Dec 2 nd	Approved Alison to pick up float
23/10/23	Alison to Jacqui	Invoice for BBQ purchase	Delivered by TAMEX thanks Alex!
23/10/23	Alison to Place Management (Jodie)	Maintenance request, door lock, clean gutters, green waste removal, leaking pipe...still	Followed up with reference for the work
23/10/23	Liz to Committee	Working bee for event next Saturday 28 th October 2023	10.00am
27/10/23	Liz to Committee	Risk assessments, evacuation Plan, alcohol approval. Sign on/off sheets	Display at event on 28/10/23
3/11/23	Jacqui to TRC (Jodie)	"square" account request	Difficult not having a credit card option at events.
9/11 23	Liz to Central Hospitality Group, Hazells Farm and Fertiliser, Blooms Chemist. Oresome Garden, Peter Bagshaw, Steinbeck Freeze drying, Bearfast, Valley Produce, Big W, K Mart, Felicity Bagshaw, Brian Penrose, Judy Coates, Cutting Point hair, Barber Shop, Mal and Gordon Music, Hugh Leckie, Loomberah distribution, Dungowan Hall Committee	Thankyou for donations of goods, vouchers and time.	
12/11/23	Liz to Jodie	COBA Accounts – what do we owe?	Discuss with Jodie re. GST
13/11/23	Liz to Committee	Meeting reminder and minutes	Meeting 20 th November at 7.00 agenda items requested

DATE	FROM	SUBJECT	COMMENT
17/11/23	Liz to Alison	Downpipes were not installed by MTG	MTG will get back to us re. refund

Treasurers Report: Balance: \$22 774.63 COBA payment to TRC owing

Booking Officer's Report:

- Dungowan School P&C have booked a movie night on December 2nd 2023, Marie to contact Jacqui re. booking of the hall – Do they need BBQ?
- A wedding is booked for January 13th 2024. Working Bee?

General Business:

- Di Brown will follow up mowing dates with Community services
- Discussion about BBQ hire, gas, utensils **Moved:** Margaret Brady **Seconded:** Robyn Thompson - that Marie purchase BBQ utensils, paper towel and they be put in a labelled box for hire of \$20 for the use of the BBQ and gas. **carried**
- Country Music Camping 2024 – There is one booking for 10 days and maybe 2 sites **Moved:** John Thompson **seconded:** Marie Goodwin – that we cancel Country Music Camping for 2024 **Carried**
- Liz to send an email to place Management, Jodie Archer and Kay Burnes to inform them of the decision to cancel CM Camping for 2024
- Marie to direct bookings to Camping at Piallamore grounds.
- Bingo Evening – Alison and Liz to complete the Post Event Analysis, a successful evening with another planned for 2024. Date to be set at February meeting.
- Discussion about a letter to support the Recreation Ground Committee applying for a grant – Alison will contact Suzanne O’Keeffe to discuss.
- We need to discuss with TRC re. the possibility of planting shrubs along the front of the hall. Discuss at February meeting when it is starting to cool down.
- The Dungowan/Ogunbil garden Club have donated the Hall Committee \$100 to purchase plants.
- Fitness Grant is still available - Alison will follow up with Karen Drury who is currently running local exercise classes at Dungowan.

Next meeting: February 19th 2024

Meeting closed at: 8.17 pm

Dungowan Hall Committee

A Section 355 Committee of Tamworth Regional Council
Committee Mailing Address: c/-Alison Leckie, 445 Ogunbil Rd, Dungowan NSW 2340

Contact Information:

Chairperson:

Name: Alison Leckie
Phone: 0411 061 064
Email: hato.leckie@bigpond.com

Booking Officer:

Name: Marie Goodwin
Phone: 0400 968 599
Email: mariegoodwin31@gmail.com

Secretary:

Name: Liz Lollback
Phone: 0427 694 274
Email: melollback1@bigpond.com

MINUTES of Meeting held February 19th, 2024

Dungowan Hall

Meeting commenced at: 7.05pm

Chairperson: Alison Leckie welcomed all to the meeting.

Present: Alison Leckie, Marie Goodwin, Di Brown, Margaret Brady, Jacqui Gidley-Baird

Apologies: John Thompson, Robyn Thompson, Liz Lollback, Michael Lollback, Wendy McRea, Lyn Sommerville

Sign on sheet signed by attendees

Risk Awareness Statement: tabled

Because the quorum numbers are not met – not a formal meeting

Minutes of previous meeting read

Business Arising from the previous meeting:

- Fitness grant – money remaining in Treasurers report
- Shrubs at front of the hall – to be discussed at May meeting when it is cooler
- Marie still to purchase tubs for linen
- Di Brown purchased solar lights for outside – need to be installed

Correspondence:

CORRESPONDENCE – IN NOVEMBER 21ST 2023 to FEBRUARY 19TH 2024

DATE	FROM	SUBJECT	COMMENT
21/11/23	Marie Goodwin	CM Camping cancelled for 2024 Request to remove from website	TRC Placement Panel notified. Acknowledgement from Jodie Archer
22/11/23	MTG sales	Down pipes for COBA	Unable to refund
23/11/23	M Goodwin	Invoice for BBQ tools and container	Raised for payment
1/12/23	Di Brown	Thank you for lawn mowing	Completed for school movie night
2/12/23	TRC	Debtors invoice from 2021?	Follow up with Jacqui and TRC
6/12/23	Di Brown	Hall mowing and solar lights	Followed up at working bee prior to wedding
8/12/23	TRC via M Goodwin	Another debtor's statement	Follow up with TRC
9/12/23	L Lollback	Christmas wishes next meeting flagged	Next meeting 19/2/24
10/12/23	M Goodwin	Thank you to Di for mowing and working bee needed	Working bee on 10/1/24

DATE	FROM	SUBJECT	COMMENT
20/12/23	Placement Panel	Social media and Photo policy	Saved on computer, printed and sent to Committee with follow up request
21/12/23	J Archer Placement Panel	Invoices for COBA acquittal	Follow up with Alison and Jodie
21/12/23	Placement Panel	Christmas wishes and thank you	Forwarded to committee
7/1/24	Di Brown	Hall mowing and lighting	Followed up
9/1/24	Placement Panel	Amendment to COVID Policy	Forwarded to committee Saved on computer
13/1/24	M Goodwin	AC needed hose replacement before wedding	Email sent to Don Grant Hose replaced cost?
29/1/24	Place Management	Facility Improvement Fund Round 2	Forwarded to Committee Put on meeting Agenda
1/2/24	Di Brown	Dates for mowing	18/2/24 and 24/3/24
1/2/24	Alison to Liz	Date to finalise COBA and Bingo night	10/02/2024 at 10.00am
3/2/24	Alison to Liz	Email re. down pipes from MTG	Follow up on 10/2/24
3/2/24	Placement Management	Disability TRC Action Plan	Forwarded to Committee
4/2/24	Di Brown	Unable to go to Nundle for Disability Working Group meeting	Liz and Margaret attending 8/2/24
14/2/24	P/C Jacqui to Liz	Follow up garden club donation, treasurers reports, GST invoice	Jacqui is following up
CORRESPONDENCE - OUT			
20/11/23	Place Management	Decision not to go ahead with Country music camping	Request to be taken off the TRC website
2/12/23	Liz to Exec	We need to follow up Debtors GST invoice	Forwarded to Jacqui to follow up
8/12/23	Liz to Alison	Date to get together and finalise COBA and Bingo	Leave until after Country Music Festival
9/12/23	Liz to Committee	Thank you for work in 2023 and Christmas wishes	
14/12/23	Marie to Committee	Date for working Bee to prepare hall for wedding on 13/1/24	Date set 10/1/24
23/12/23	Liz to Place Management	Christmas wishes and thank you to volunteers	Reply with thanks to Place M
1/2/24	Liz to Di Brown	Thanks for organising mowing	
2/2/23	Liz to Alison	COBA invoice and DH costs	Meet on 10/2/24 to finalise
2/2/23	Liz to Jacqui	Request for Treasurers report from Nov meeting	Follow up PC and left message
7/2/24	Liz to Committee	Minutes from Nov 23 meeting, agenda and Feb meeting date	Next meeting Feb 19 th at 7.00 at the Hall
7/2/24	Liz to Jacqui	Did we receive a Garden Club donation?	Thank you needs to be sent
9/2/24	Liz to Exec	Re. GST invoice	Jacqui has info for the meeting
10/2/24	Liz to Alison	Forwarded Coba acquittal and Bingo Analysis for completion	To be presented to meeting and forwarded to TRC
12/2/24	A. Warden	Card and \$20 as thank you for use of hall toilets on Christmas carol night at the Anglican Church	noted

Treasurer's Report: See attachment

- Bingo Night - \$911.60 profit

Booking Officer's Report:

- School booking December
- Wedding – January
- Landcare – March
- P&C Prawn and Chicken Night 19th October 2024

General Business/ Business Without Notice:

- Gutter Guard – Discuss at next meeting
- Asset Register – BBQ, gas bottle, tools added
- Di Brown to provide receipt for solar lights
- Social Media Policy
- Disability Access – Community consultation at Nundle – Liz L and Margaret B attended, discussed access to buildings, parking etc.
- COVID safe policy – updated by TRC – see attached
- Need hose attachment or Gurney to clean concrete slab (COBA)
- Strategic Plan 2024/25 – ADD Upgrade of toilets and addition of showers and disabled toilets – Leading to possible Emergency Evacuation Centre
- Look at upgrading hall chairs
- Need to clean gas bottle area and deter the birds
- Lawn mowing – due in February

Date, time and venue for next Dungowan Hall Committee Meeting:

Next meeting: Monday May 20th, 2024 at 7.00pm

Meeting closed at: 8.20pm

Duri Progress Association **General Meeting Held 21st May 2024**

Meeting opened 7-33 PM

PRESENT L. Donaldson, Katherine Wellings, D. Ware, Will Ramsden, Charlotte Ramsden, Ollie Fauchon, Georgia Sweeney, Lachlan Fauchon, Kenzie Alderson, Campbell Alderson, Lachie Ware, Chris Ware, Darrin Alderson, Matthew Fauchon, Jason Alderson.

Apologies: Billie Wood, P. Collins

Darrin led the meeting

Moved C. Ware Sec. L. Ware that the minutes be accepted

TREASURER REPORT P. Collins was not able to give a report of the treasury

CORRESPONDENCE

IN

OUT

General Business:

SPORTS GROUND The electricity has been taken from the tennis club as lights are never used there. There is no rubbish bin at the sports ground now, as the Council needs the Progress to pay around \$995 to the Council. It seems that the tennis group did pay as normal to the Council. The tennis group has closed down, so Progress will have to give Council the money.

DURI HALL There has been a lot of talk about getting the local community together, so they will meet local people, that they may not have seen before. There is thinking of doing it in October for Saturday 26th. There will be catering for them, and will try to do some music, and singing for them, and may be some other entertainment for them. Charlotte Ramsden thinks she may be able to sing for them, and she will try and get it together also, and so other things. We are thinking of asking \$20 for their donation.

ANZAC DAY The Thursday event went very well in every part. The Tamworth Council helped doing mowing the ground before the Thursday. A Council leader came for the day as well. A lot of people came from local, as well as some from other areas. The leader went very well, as well as the Duri School leaders, and the students doing a lot of helping, and adding into it. The Progress Association have given a donation to the leader every time they lead. This time the leader was given a donation, but he gave it back. Jannel Rimmer gave help for the day, as she has for many years.

GYMKHANA There is some thought even now that about some of the things to do at the Gymkhana. It will be the day after the community get together, and will be October Sunday 27th.

Meeting closed 8-02 P.M.

Next Meeting will be 18th June at the Duri Hall

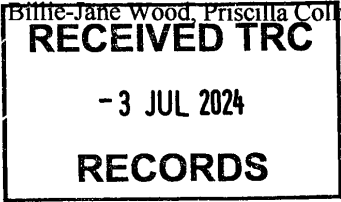
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Duri Progress Association **General Meeting Held 18th June 2024**

Meeting opened 7-36 PM

PRESENT L. Donaldson, D. Ware, Charlotte Ramsden, Kenzie Alderson, Billie-Jane Wood, Priscilla Collins
Darrin Alderson, Jason Alderson, Steve Collins

Apologies: Lachie Ware, Chris Ware



Darrin led the meeting

Moved J. Alderson Sec. B. Wood that the minutes be accepted

TREASURER REPORT

Opening Balance-----	6077--25
Income-----	2033--00
Expenses-----	Nil
Closing Balance-----	8110--25

Moved P. Collins

Sec. L. Donaldson

CORRESPONDENCE

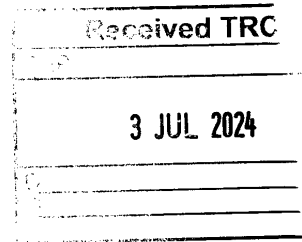
IN
OUT

General Business:

SPORTS GROUND

DURI HALL Billie gave a report of the hall finances.

Balance-----	332--62
Income-----	200--00 from red cross
Income-----	40--00 from Church Group
Expense Power Bill	207--08
Bond Return-----	250--00 Payed last November
Closing Balance-----	115--54



DURI COMMUNITY There has been a lot of thinking of the way to help, and join local people together. Charlotte Ramsden and Kenzie Alderson had lots of thoughts about the way that Progress would be able to help for people to enjoy a get together. There will be food at the function, and entertainment with music, and may be other entertainment. There will be a cost to come, and there may be some donations for Progress to help. Face Book will be used so that people will understand what is a good way to come together.

ANZAC DAY

GYMKHANA The date of the Gymkhana will be Sunday 27th October, and will need to apply to Tamworth Council for their permission for the Council insurance.

The Annual General Meeting will be held at the Progress meeting on 16th July. Please consider who is prepared to fill positions.

Meeting closed 8-02 P.M.

Next Meeting will be 16th July at the Duri Hall

**GOWRIE PROGRESS ASSOCIATION ANNUAL GENERAL MEETING
MONDAY 6 MAY 2024 AT 6:00PM – GOWRIE HALL**

MINUTES

Meeting opened at 6:00pm

Attendance: James Smith, Bet Crago, Evelyn Keane, Tony Orr, Noel Cook, Phil Gamble, Deana Scharfetter, Peter Scharfetter, David Carson, Cathy Carson, Graeme Whitten, Bob Hayden

Apologies: Diann Cook, Lyndall Whitten, Melissa Gamble, Joan Smith, Denevan Ellis, Greg & Karen Giblett

Motion to accept Attendance & Apologies.

Moved Noel Second Phil Consensus

Minutes of 2018 AGM were distributed and read.

Motion to accept the Minutes be accepted as a true and correct record.

Moved Tony Second Bet Consensus

President's Report: James presented the highlights from his report including the GPA's successes, thanking all involved in working with TRC to get the hall completed, expressing his gratitude to everyone for their contributions and welcoming new residents. The President's report will be emailed to the Gowrie community shortly after the meeting.

Motion to accept the President's report.

Moved Graeme Second Phil Consensus

Treasurer's Report: Bet tabled her report of our financial position.

Motion to accept the Treasurer's report as a true and accurate record.

Moved Evelyn Second Graeme Consensus

All Positions Declared Vacant: The present committee members agreed to continue in their positions for 2024-25 and there being no other nominations,

Motion to return current committee members for the coming year.

Moved Peter Second Noel Consensus

2024-25 Committee

President – James Smith
Vice President – Graeme Whitten
Secretary – Evelyn Keane
Treasurer – Bet Crago

**GOWRIE PROGRESS ASSOCIATION ANNUAL GENERAL MEETING
MONDAY 6 MAY 2024 AT 6:00PM – GOWRIE HALL**

MINUTES

General Business

Catch up – covered in President’s report tabled.

Petty cash – Tony (in his role as bookkeeper) explained the TRC Auditor’s request that the GPA should not be holding petty cash. Any claims will be received by the Treasurer and payments made through the direct banking system. The amount of \$119.50 is currently held by the Treasurer and the Secretary submitted her claim in the amount of \$119.50. Petty cash has been closed out.

Donations – Tony advised the TRC Auditor also mentioned we are not able to collect Membership Fees. Donations can be made to the GPA. James advised that as our bank account is fairly healthy at the moment, there is no need to ask for donations, but at Christmas we will pass the hat around as we have done in previous years.

Correspondence – The Secretary advised that the only postage mail being received for GPA are bank statements (which are mailed directly to the Treasurer). There are dozens of emails received each month by the Secretary, mostly from TRC and locals wanting to hire the hall. When emails of concern to our community are received, Evelyn forwards these to the Gowrie email listing. Requests for information from TRC and hall hire enquiries are dealt with by Evelyn. The meeting was advised that all emails received are kept for a period of time and can be reviewed by our members at anytime. This process was accepted by all in attendance.

Use of Hall – Arrangements for hall hire will continue to be the responsibility of the Secretary. The fee of \$55 per day will remain. Evelyn advised that TRC now has a shorter two-page version of the hiring agreement and only businesses are required to hold an Insurance Certificate to hire the hall. Also, we can add our own conditions; the amount of security deposit, cost of cleaning, and use of the hall, ie. late evenings, over-night camping, etc.

Everyone is now aware that TRC has advised that we are no longer to use plastic chairs as they pose a safety risk. Evelyn showed the meeting a sample chair which the Gowrie church has purchased (24). The cost is currently \$50 each (includes shipping). As more investigation is needed, it was suggested and agreed that the committee be left to make the decision on the purchase of chairs.

Evelyn noted the fridge seems to be out of order. Further investigation is required. Graeme also noted that a small water heater had been discussed previously.

When finalising these purchases, the committee will keep in mind TRC may contribute to these items in a grant, we could use the residual money from our last grant, and the RFS may share in the cost of new chairs.

**GOWRIE PROGRESS ASSOCIATION ANNUAL GENERAL MEETING
MONDAY 6 MAY 2024 AT 6:00PM – GOWRIE HALL**

MINUTES

Now that the hall is complete, it would be nice to have photos on the wall; large, framed scenes of Gowrie, old school and other buildings, etc. Evelyn & Bet agreed to work on this in the coming months.

Noel advised he has completed a small booklet on the History of the Gowrie School which is available to all.

Upcoming Events

Discussion of a winter event in August – maybe bonfire (if able). Maybe making it a “Welcome to new Residents” gathering.

Christmas party will be held as usual. We could use a bit more organising this year!

Meeting closed: 6:42pm



Grey Fergie Tractor Muster Committee

A Section 355 Committee of Tamworth Regional Council

GENERAL MEETING HELD AT THE GFTM SHED

25th MAY 2024

WELCOME BY CHAIRPERSON Winston Doak

PRESENT: Fiona Stanford, Winston Doak, Steve Payne, Greg Offord, Anne Doak

APOLOGIES: Micheal Breedon, Jaki Dressing, Verity Treeve

MINUTES OF THE PREVIOUS MEETING: Tabled and moved to be a true record by Fiona Stanford, seconded Greg Offord

BUSINESS ARISING:

- Sounds System-**Anne** to contact MacSound Uralla about giving a quote to hire equipment. **Greg** to speak to Paul Drummond re being the announcer at the event.
- Sponsorship letters to be sent in June-**Anne**
- Advertising flyers-Greg and Winston went to see AM Printing. Decided on a DL size, double sided. Sandy to email quote. Fiona will take some away with her. If not ready, will gave her some posters already done.
- Stallholders-Anne making contact. Some have responded.

CORRESPONDENCE- IN

1. Email from Rhonda (Fergie Fire Up) re selling her mugs
2. Email from TRC re 2024-2025 Regional Events Marketing Support Program
3. Email from Jodie Archer re event sustainability and meeting re site plan and event Risk Assessment

OUT

1. TRC re above application

Moved Steve Payne, seconded Fiona Stanford

TREASURER'S REPORT:

As attached. Greg moved that the report be adopted. Seconded Winston Doak.

Winston presented Trevor Hazlewood's quote.

Moved Winston, seconded Greg that it be accepted.

GENERAL BUSINESS:

1. **Canteen**- The P & C and CWA to share the canteen on the Saturday. Anne to let P & C know what the menu will be. (pies, sausage rolls, sausage sandwiches, egg and bacon rolls, hot dogs)
2. **Merchandise**-Winston and Greg met with Sandy from AM Printing. Decision not to sell shirts. Suggestions- Hi Vis kids vests, magnetic stubby holder, patches, bucket hats, caps, (green ones as well for Landies) Quote to come. Plaques- we have 75 in stock, order 100. Sell some as merchandise.
3. **Face Painter**-Anne contacted Carly and she is \$150 per hour. Decided to book her from 10-12.
4. **Action Plan** discussion. ACTIONS-Programme for committee to be formulated; Traffic Management Plan (**Greg** to email previous one and **Winston** to take to Senior Constable John Brown at Kootingal); parking -**Anne** to contact church re using the vacant block); photographer-**Anne** to contact Hayley Robinson from Tamworth Camera Club); RFS to assist with gate-**Anne** to write to the secretary.

Action Plan to be continued next meeting. Anne to provide updated Action Plan.

5. Next meeting: **Annual General Meeting** Saturday 31/8 at 2pm at the Fergie Shed

Meeting closed at 3.30



Loomberah Hall Committee

A Section 355 Committee of Tamworth Regional Council

MINUTES of Meeting held Tuesday 14th May 2024

Loomberah War Memorial Hall, Loomberah

Opened meeting at 7:08pm

1. **Chairperson** – Liz
2. **Present:** Committee members and any guests (to be noted on the Sign on/ Sign off Register):
Guests: Geoff Birchnell
3. **Apologies:** Ian Pittman, Libby Richards, Rach Tongue
4. **Membership:**
5. **Risk Awareness Statement:** as read
6. **Minutes of previous meeting:** from previous meeting held 27th February, 2024 at Loomberah Hall, Loomberah (_27/_02_). Moved Correct Tanya. Seconded by Trish.
7. **Business arising from the previous meetings:**
 - 7.1. *Future Projects (5 year plan) –*
 - *Footpaths – Approved 20/12/23.* Council requested onsite catch-up with committee representatives – set for 29/2/24. Update – Liz and Karlie met with Jake and Jodi. Measurements checked. Ready to be completed by council. Date TBA.
 - *Air Conditioning – Scope of works required for TRC. Update – Liz*
 - *Add to future projects roof lining and doors upgrade. – Done (Trish)*
 - 7.2. *Table trolley – signage to be updated – Karlie DONE*
 - 7.3. *Umbrella stand/tall pot for front patio – Janelle/Karlie*
 - 7.4. *Honouring our local Defence Force*
 - 7.4.1. *Honour Board – Grants open in July 24 – Kate to monitor*
 - 7.4.2. *Future grants – Quotes required to apply for water damage repair on existing board + new honour board quotes. – Janelle has spoken to council and will get a letter of support. Also Jake will come to remove the board for photos etc as it is at heights.*
 - 7.5. *Email database update – Karlie facebook post/Trish to email existing group to encourage new subscribers. Email done. Facebook To Do. - Karlie*
 - 7.6. *Hall sign – Dungowan PS possibility – Sign not available as currently in use. Kate to look at Marketplace.*
 - 7.7. *Food handling course - hand washing sink label – Karlie*
 - 7.8. *Paper towel roll dispenser to be installed to the right of the sink – Karlie*
 - 7.9. *Child lock on drawer installation – DONE*
 - 7.10. *Internal door fly screen - Rach*
8. **Correspondence In:**
 - 8.1. 2024 – 2025 Regional Events Marketing Support Program – no action required
9. **Correspondence Out:**

Committee Postal Address: 1 Monterey Road LOOMBERAH NSW 2340

* Accounts as per Treasurer's Report

10. **Treasurer's Report:**

- Unaudited Income & Expenditure – 01/01/2024 – 31/03/2024 circulated
- Income \$259.88, Expenses \$415.75 = Loss \$155.87
- Currently nil deposit bonds held
- Bank account balance \$16,553.47 as at 31/03/2024

11. **Booking Officer's Report:**

- May 24-26 Bake Camp
- May 28 Solar Farm Public Community Meeting
- May 30 Biggest Morning Tea
- August 24-25 Mosaic

12. **General Business:**

12.1 Fire Shed tables (14) have been listed on Facebook – Kate to be point of contact

12.2 Synthetic grass - Sand or flaps pegged. – Request has been given to Council for sand.

If appropriated the committee will organise to spread – Karlie to confirm cubic meters.

12.3 Spraying for spiders – booked by TRC 23/5 12:30pm

12.4 2024 committee events –

- Loomberah Calendars – Photos submitted by Oct and sold at Christmas. Business Advertising to be added. Kate to create flyer for Loomberah Photo competition to be proofed by committee and research costs etc.
- Trivia Night – Adults event, catered, professional trivia person to run – Liz, Libby
- Movie Night – Sept before daylight savings begins (rediscuss in July)
- Annual Event for Loomberah (Spring 2025): Camp Oven Cook-off / Cracker Night / Go Cart / Yabby Races / Pram-athon / Roping Comp / "Loomberah Sports Day"

12.5 Strategic Plan – Trish to submit - DONE

12.6 Bathroom/kitchen supply order - DONE

12.7 Chit Chat – Donation of funds – Paused. Will rediscuss if brought back to the committee

12.8 At AGM, review access to Facebook and Gmail accounts to ensure accurate roles held

12.9 Defibrillator check - DONE

12.10 Defibrillator lock box options (Heart180) – Tanya. \$499 for the lock box. Voted unanimously. Tanya to purchase and install. Front of the building with clear signposting for the public.

12.11 Maintenance Booked (ref: WR001638):

- Mounds from pole installation
- Replace sun damaged tactile indicators on the ramp
- Replace all window screens that are torn/damaged
- Load of sand to weigh down the turf
- Latch for door on ramp to replace rope
- Replacement of not working festoon lights – committee to advise which are not working.

- ADD to maintenance STRING 1 , BULBS 1,3,4 (closest to the veranda). STRING 3, BULB 1. STRING 5, ALL BULBS. ALL STRINGS TO BE TIGHTENED. BRANCH TO BE REMOVED. BULB IN SUPPER ROOM SECOND FROM THE FRONT DOOR BLOWN. - TRISH

12.12 Karlie purchased 3 toilet sets. On account for payment. Invoice given to Tanya.
12.13 Toilet cistern has been checked. Urinal has been replaced due to repair required.
12.14 "What's On at The Hall" Monthly facebook promotion to include upcoming events open to the public – Karlie
12.15 Mat for the side door facing West, as water is coming through under the door – Janelle
12.16 Community Noticeboard for the front of the hall – Janelle
12.17 New Council App for centralised governance and inductions. To be introduced on launch. Awaiting Council.

13. **Committee Projects:** (ongoing – can be added to at any time)

1. Concrete paths at entrance and side gate
2. Air Conditioning: a) kitchen, b) hall area
3. Raised stage/deck in front of the tanks (out from the toilet)
4. Internal re-paint + bathrooms
5. Roof Lining
6. Doors Upgrade

14. **Business Without Notice:**

14.1 Fire Shed needs to be emptied of Loomberah Hall items to ensure the shed is only accessed by Fire personnel and only stores Rural Fire Service items – Request Council for storage options (40' container) - Trish

15. **Next Meeting:**

General Meeting and AGM – 30th July, 2024

Meeting Closed at 8:50 pm. (minutes taken and prepared by Trish Moore)



.....
Signature of Chairperson



.....
Signature of Secretary



Manilla Matters Committee

A Section 355 Committee of Tamworth Regional Council

MINUTES of Meeting held Thursday 9 May 2024

Mechanics Institute, Manilla

Meeting commenced at 4pm

1. **Chairperson** – welcomed all to the meeting
2. **Present:** Richard Bell, Gwen Taylor, David Ridgewell, Jane Martin, Greg Phelps (Secretary), Kate Phelps (Chair)
Guests: Nil
3. **Apologies:** Jim Maxwell, Tamara Phelps, Frank McNamara, Isis Ashton
4. **Membership:** Maria Primerano.
5. **Risk Awareness Statement:** Nil risks identified
6. **Minutes of previous meeting:** Held 11 April 24
7. **Business arising from the previous meetings:**
 - 7.1 Lego, the chair is yet to organise.
 - 7.2 Gingerbread Houses looking at late November, early December.
8. **Correspondence In:** Nil
9. **Correspondence Out:** Nil
10. **Treasurer's Report:** No report available
11. **General Business:**
 - 11.1 David Ridgewell mentioned that John Calokerinos from Rotary Manilla are looking for a half basketball court for the children. He asked if the Secretary could write a letter of support. The secretary mentioned the courts behind the Services Club.
 - 11.2 Jane Martin mentioned about the play equipment in Rotary Park and that little children are unable to use most of the equipment. She asked if the Secretary could write a letter to Lisa Hannaford asking if Manilla Matters could get a small slippery dip to be put at the park.
12. **Committee Projects:** (ongoing – can be added to at any time)
 1. Halloween Disco
 2. Projector
 3. Christmas Carols
 4. Kids Trivia afternoon
 5. Craft for kids afternoon
 6. Movie afternoon
13. **Business Without Notice:** Nil
14. **Next Meeting:** 13 Jun

Meeting Closed at 4.46pm. (minutes taken and prepared by Greg Phelps, Secretary)


.....
Signature of Chairperson


.....
Signature of Secretary

Committee Postal Address: C/- TRC 210 Manilla Street MANILLA NSW 2346

MOONBI MUSEUM COMMITTEE

355 Committee of the TAMWORTH REGIONAL COUNCIL

Regular Meeting 9.41 a.m. Wednesday 5th June 2024 held at the Moonbi Museum

PRESENT; Bill Humphrys (who presided), Dorothea Vaux, Claudette Humphrys, Warwick Budd, Roslyn Thomas, Sandy Field, Deirdre Keast, Gary and Jillian Courtney, Ray Nelson, Joy Ballard. (11)

APOLOGIES; Jodie Archer, Luke MacDonald. TRC. (2)

The President, Bill, welcomed all to the meeting. Special welcome to new volunteer, Roslyn Thomas. May you enjoy your time with us!

Minutes of the meeting of 3rd April 2024, as circulated, were accepted – W. BUDD/ D. KEAST,Cd.

BUSINESS ARISING; To General Business

CORRESPONDENCE /E-MAILS. J. COURTNEY/G. COURTNEY, Cd. TRC Agenda details, meeting matters, etc.

REPORTS – PRESIDENT - Comments re Heritage Festival, displays at Tamworth Gallery, Moonbi Museum, Kootingal Anzac March. Australian Museums Grant of \$2000 successful as advised by Kim Biggs. G. COURTNEY/R. NELSON, Cd.

MUSEUM MANAGER General Comments re displays, procedures, visitors, etc. J. BALLARD/ S. FIELD,Cd.-

FINANCIAL. Balance C/F. 5232-92, Income 811-30, = \$6044-22, Expenditure \$573-30, Closing Balance 5470-92, Restricted Assets Reserve \$3500 = \$8970-92. D. KEAST/R.NELSON,Cd.

GENERAL BUSINESS; Wood Raffle was then drawn - Trailer load of wood – T. Kuczera Red C96, Afternoon Tea Presentation Pack donated by Jeny Kelly – thanks Jenny – Red C91 Bec Swain.

Raffle realised \$519 – thanks all of our supporters. 100 Club underway.

Xmas Raffle donation of card from D. Keast – selling dates TBA.

Mothers Day – All day refreshments at the Museum.

Annual Dinner – Committee in favour of holding it at Moonbi Museum. Details later.

Anzac Day at Kootingal – a special event – congratulations on flags at cemetery – very moving.

Moonbi News – September issue closing 10th August 2024. Late entries will be held over Next meeting Wednesday 3rd July 2024. 9.30 a.m. for 10 a.m.

Closed 11 a.m.

G. J. (Bill) Humphrys

President

Dorothea Vaux

Secretary.

MOONBI WAR MEMORIAL HALL AND RECREATION RESERVE COMMITTEE

Minutes of the Regular Meeting of 16th August 2023 held at the Moonbi War Memorial Hall at 10.40 a.m.

PRESENT; Graham Thompson, (who presided), Dorothea Vaux, Karin Thompson, Robyn Maher. (4)

APOLOGIES; Jodie Archer TRC. (1)

Risk Awareness Statement was read by the Secretary.

Minutes of the Regular Meeting of 17 May 2023, as circularised, were accepted – K. THOMPSON/
R. MAHER, Cd. BUSINESS ARISING; To General Business.

CORRESPONDENCE; R. MAHER/K. THOMPSON, Cd. F.I.F. Funding, Booking Forms,
Dressage communications, etc. E-mails, TRC meetings and procedures, lodgements, etc.

Reports. Nil.

FINANCIAL; Transfer of \$5000 to special projects – Restricted Assets as passed at AGM.

GENERAL BUSINESS.

- Strategic Plan.
1. Disabled Toilet. Access. Showers.
 2. Internal/External Fencing. *NEEDS PAINTING*
 3. Back to Base Fire Alarm System.

Review Signage –

Other issues of importance NOW – Sign to be obtained – THESE GROUNDS ARE BOOKED TO DAY.

Moved D. Vaux, seconded R. Maher that this happen now.

Suggestion to obtain a sign which can be changed as required.

Bait Stations have been in place for many months – no action. What to do?

Thank you to Karin Thompson for providing a special morning tea for our AGM. It is much appreciated by all of us.

President Graham thanked the members for their attendance and closed the meeting at 11.20 a.m.

Next meeting Wednesday 15th November 2023.

MOONBI WAR MEMORIAL HALL AND RECREATION RESERVE COMMITTEE

Minutes of the Regular Meeting of 15th November 2023 held at the Hall at 10.05 a.m.

PRESENT: Graham Thompson (who presided), Dorothea Vaux, Karin Thompson, Robyn Maher.(4)

APOLOGY; Jodie Archer. (1)

Risk Awareness Statement was read by the Secretary.

Minutes of the Regular Meeting of 16th August 2023, as circularised, were approved.

K. THOMPSON/R. MAHER, Cd.

BUSINESS ARISING; Query Bait Stations – over two years old.

No camping at all in buildings under TRC management – why?

CORRESPONDENCE /E-MAILS; TRC Security Bond, Legends Awards, F. I. FUNDING, Rates Variation.

Meeting at the Hall, Minutes, Procedures, Forms, etc.

KDPC -Refund application.

Booking Officer and Secretary to attend Legends of Time. K.THOMPSON/R. MAHER
cd.

PRESIDENTS REPORT: New toilet block near sand arena now operational., New gas hot water system a big improvement, well done! Matters under control etc

BOOKING OFFICER; General overview of bookings, new booking staff at TRC. Forward bookings in progress. General comments re hirers.

FINANCIAL; Total Funds at 30/6/23 \$25027-48, Surplus at 31/10/23 \$1518-24, = Restricted Assets \$20154, General Funds \$5592-02, Bonds held in Trust \$800 = \$26546-02. R. MAHER/
K.THOMPSON,Cd.

GENERAL BUSINESS; Strategic Plan - Add Shower Curtains Replacement Disabled Access Ablutions. New fridge/freezer. Investigate drainage system to see what needs to be remedied.

Re-imburement for Secretary if required – K. THOMPSON/ R. MAHER ,Cd.

Next meeting Wednesday 21st February 2024 - 9.30 a.m. for 10 a.m. at Moonbi W.M.HALL.

The President thanked the members for their input and closed the meeting at 11.30 a.m.-

MOONBI WAR MEMORIAL HALL AND RECREATION RESERVE

Minutes of the Regular Meeting held at the Moonbi War Memorial Hall on Wednesday 21st February 2024 9.53 a.m.

PRESENT; Graham Thompson (who presided), Dorothea Vaux, Karin Thompson, Robyn Maher. (4)

APOLOGIES; Jodie Archer, (TRC).

President Graham welcomed all to the meeting.

Risk Awareness Statement was read by the Secretary.

Minutes of the Regular Meeting of 15th November 2023, as circulated, were accepted – K. THOMPSON/R. MAHER,Cd.

Karin made comment that bait stations had been in place more than three years.

CORRESPONDENCE. Regular hirers renewals for 2024 had been processed.

PRESIDENT’S REPORT; Everything going nicely. Run out of gas to instant hot water, air conditioning hopefully soon, business as usual.

BOOKING OFFICER. Much paper work attended to, bookings - no free weekends, business as usual.-

FINANCIAL REPORT. Income =-Security Bonds, \$900, Hire Facilities \$491, Donation \$1 =\$1392,

Expenditure- Refund KDPC \$90, Moonbi Christian Fellowship \$200 = \$290.

Summary – Restricted Assets \$20154, General Fund \$5994-02, Bonds Held \$1500 = \$27648-02.

Received – K. THOMPSON/R. MAHER,Cd.

Reimbursement – Secretary – Elec.\$258-72, Stamps \$24,\$18 – Process June 2024.

GENERAL BUSINESS; Further to our requests TRC have filled hole (grounds), fixed downpipe, door as left unlocked. General comments re state of “playground” and other local items of interest to those present.

Thank you to Booking Officer, Karin Thompson, for a splendid morning tea. Much appreciated!

The President Graham thanked the members for their attention and closed the meeting at 11.09 a.m.

Next Regular Meeting at the Hall – 9.30 a.m. for a.m. Wednesday 22nd May 2024.

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Moore Creek Hall and Reserve Committee

A Section 355 Committee of Tamworth Regional Council

Minutes

Meeting scheduled for: 12.2.24
Commencing: 18.34
At the Moore Creek Hall

1. **Welcome by Chairperson**
2. **Present:** Libby, Tom, Hon, Megan, Emma, Gordon, Judy & Sonia
3. **Apologies:** Doug
4. **Membership:**
5. **Risk Awareness Statement**
6. **Minutes** from previous meeting held __minutes from previous meeting read, Emma welcomed everyone. Kristy back doing the mothers classes, check for payments.
7. **Business Arising** from the Minutes of Meeting held ___ 16.1.24_____
 - 7.1. Issues with the trees needing to be trimmed – need doing again.
 - 7.2. *toilets*
 - 7.3. *cricketers parking on the grassed area – look at land care to plant trees.*
 - 7.4. **Mower needs fixing – Tom to email Lisa**
 - 7.5. Flag pole – ongoing –Emma emailed Lisa today, putting request into building services, cant go in the same place – need space for 3 flag poles. DA required will be a long process.
 - 7.6. Lack off lightening - ? spot light on the hall.
 - 7.7. BBQ ?\$5.00 charge if not related to the hall hire.
8. **Correspondence In:**
 - 8.1. Emails from Doug
 - 8.2. Emails for bookings
 - 8.3. Email from facility improvement fund, need to submit the template from – stick with the original plan.
9. **Correspondence Out: Nil**
10. **Treasurer's Report:** opening balance \$12,256, closing balance \$11,141 - \$600.00 power bill
11. **Booking Officer's Report:** wedding booked, 30th booked – lots of booking enquires.
12. **General Business:**
 - 12.1. Emma to look at separate mobile phone for the hall bookings or do we just have a email
 - 12.2. Tom to workout Kristys accounts & what she needs to pay.
 - 12.3. Emma bought up about having campers durning the country music festival.
 - 12.4. Hon to contact landcare to get some trees planted near the cricket shed.

Committee Postal Address: 113 Fiona Drive MOORE CREEK NSW 2340

13. **Business Without Notice:**
14. **Next Meeting:** not set

Meeting closed at: 19.50



Nemingha Hall and Reserve Committee

A Section 355 Committee of Tamworth Regional Council

AGENDA

Meeting scheduled for: Wednesday 5 June 2024

Commencing: 5:30pm

At the Nemingha Hall, Nemingha

1. **Present:** Angus Newcombe, Kev Squires, Daniel Everingham, Mark Campbell
2. **Apologies:** Bronwyn Fullford - Car Club Representative, Steven Jackson
3. **Treasurer's Report:** Currently \$6245.17 in the account, with \$600 to be paid in bond refunds. This will see a total of \$5645.17.
4. **Booking Officer's Report:** Discussion regarding looking at increasing fees due to increase in power costs and the instalment of reverse cycle units. Kev to look at comparative hire fees for halls, caravan sites and report at next meeting.
Current Cost for Hall Hire \$200 for event, \$30 per regular booking. Camping - \$35 for powered site and \$20 for non-powered.
5. **General Business:**
 - 5.1. **Maintenance** – A great deal of work has been undertaken thanks to Tamworth Regional Council. Stage has been fully demolished and floorboards laid. Supper room and kitchen have had new walls, ceiling installed due to asbestos concerns. These rooms have been repainted. New half wall built between supper room and main hall. Floor currently being sanded and lacquered. 6 new split system air conditioning units installed. Old heaters and evaporative air conditioning removed.

Leakes near the main bore in the side paddock and on the cricket grounds have been fixed.
 - 5.2. **Electricity Costs** – The cost of the electricity has increased dramatically. Reasons why and the finding of another electricity meter by council are under investigation. Gus and Jodie to liaise. Nemingha Hall Committee to pay 1st quarter bills (Jan-March), Car club to pay other 3 quarters at this stage.
 - 5.3. **Communication and Advertisement** – A proposal to look at a Facebook page and/or website to publicise the Nemingha Hall and Reserve. Kev to look at set up.
 - 5.4. **Ground Maintenance** – Mowing, spraying and maintenance of Nemingha Hall and Reserve are to be undertaken by the Nemingha Cricket Club.
 - 5.5. **Bookings for 2024;**
 - Every Wednesday evening 6:30-9:30pm – Tamworth New Vogue Dance
 - June 7-9 - Shane Risby - Dicast Car meet and Greet
 - June 15-16 - New England Budgie - Budgie Show
 - July 25/26 - Crochet Club - Waiting on booking form
 - October 5-7 - Chipley - Wedding Reception
 - November 14-16 - William Fitzgerald - 30 Wedding Reception

— MINUTES

Committee Postal Address: 138 Nundle Road NEMINGHA NSW 2340

5.6. **Order of works needed on Nemingha Hall as prioritised;**

Painting of Main Hall inside

Updated toilet block including disabled toilet access

6. **Next Meeting:** AGM Wednesday 3 July 2024 **Meeting Closed:** 6:15pm

TAMWORTH REGIONAL COUNCIL INVESTMENT REGISTER AS AT 30 JUNE 2024

Investment Type: Term Deposit

Financial Institution	S&P Credit Rating	IFRS Classification	Investment Type	Investment Date	Maturity Date	No of Days	Interest Rate	Term Deposit Value	
NAB	A-1+	Held to Maturity	Term Deposit	19/07/2023	2/07/2024	349	5.45%	2,000,000	
NAB	A-1+	Held to Maturity	Term Deposit	19/07/2023	9/07/2024	356	5.45%	2,000,000	
CBA	AA-	Held to Maturity	Term Deposit	8/06/2022	15/07/2024	769	4.16%	5,000,000	
NAB	AA-	Held to Maturity	Term Deposit	19/07/2023	30/07/2024	377	5.45%	3,000,000	
NAB	AA-	Held to Maturity	Term Deposit	8/08/2023	13/08/2024	371	5.20%	4,000,000	
CBA	A-1+	Held to Maturity	Term Deposit	17/08/2023	16/08/2024	365	5.55%	10,000,000	
NAB	AA-	Held to Maturity	Term Deposit	8/08/2023	27/08/2024	385	5.23%	4,000,000	
CBA	A-1+	Held to Maturity	Term Deposit	1/09/2023	30/08/2024	364	5.26%	8,000,000	
NAB	AA-	Held to Maturity	Term Deposit	8/09/2023	10/09/2024	368	5.23%	3,000,000	
NAB	AA-	Held to Maturity	Term Deposit	8/09/2023	24/09/2024	382	5.23%	3,000,000	
CBA	A-1+	Held to Maturity	Term Deposit	8/11/2023	8/10/2024	335	5.35%	2,000,000	
NAB	A-1+	Held to Maturity	Term Deposit	4/03/2024	8/10/2024	218	5.10%	2,000,000	
CBA	A-1+	Held to Maturity	Term Deposit	8/11/2023	22/10/2024	349	5.35%	3,000,000	
CBA	A-1+	Held to Maturity	Term Deposit	28/11/2023	4/11/2024	342	5.36%	3,000,000	
Westpac	AA-	Held to Maturity	Term Deposit	16/08/2023	20/11/2024	462	5.20%	5,000,000	
Westpac	AA-	Held to Maturity	Term Deposit	23/11/2021	22/11/2024	1095	1.73%	3,000,000	
BOQ	BBB+	Held to Maturity	Term Deposit	5/12/2023	10/12/2024	371	5.40%	3,000,000	
Westpac	AA-	Held to Maturity	Term Deposit	28/11/2023	17/12/2024	385	5.41%	2,000,000	
Westpac	AA-	Held to Maturity	Term Deposit	5/12/2023	19/12/2024	380	5.35%	6,000,000	
BOQ	BBB+	Held to Maturity	Term Deposit	5/12/2023	2/01/2025	394	5.40%	4,000,000	
NAB	AA-	Held to Maturity	Term Deposit	19/12/2023	13/01/2025	391	5.10%	4,000,000	
Westpac	AA-	Held to Maturity	Term Deposit	21/12/2023	14/01/2025	390	5.09%	5,000,000	
NAB	AA-	Held to Maturity	Term Deposit	9/01/2024	28/01/2025	385	5.10%	6,000,000	
NAB	A-1+	Held to Maturity	Term Deposit	27/02/2024	11/02/2025	350	5.05%	3,000,000	
CBA	AA-	Held to Maturity	Term Deposit	24/02/2023	25/02/2025	732	5.00%	5,000,000	
Westpac	A-1+	Held to Maturity	Term Deposit	27/02/2024	27/02/2025	366	5.12%	3,000,000	
Westpac	AA-	Held to Maturity	Term Deposit	5/12/2023	4/03/2025	455	5.31%	6,000,000	
Westpac	AA-	Held to Maturity	Term Deposit	8/03/2023	11/03/2025	734	4.80%	3,000,000	
Westpac	A-1+	Held to Maturity	Term Deposit	4/03/2024	25/03/2025	386	5.11%	4,000,000	
Westpac	A-1+	Held to Maturity	Term Deposit	4/03/2024	7/04/2025	399	5.07%	4,000,000	
Westpac	A-1+	Held to Maturity	Term Deposit	18/04/2024	22/04/2025	369	5.12%	4,000,000	
NAB	A-1+	Held to Maturity	Term Deposit	8/05/2024	6/05/2025	363	5.25%	3,000,000	
NAB	A-1+	Held to Maturity	Term Deposit	22/05/2024	20/05/2025	363	5.15%	2,000,000	
NAB	A-1+	Held to Maturity	Term Deposit	3/06/2024	3/06/2025	365	5.26%	5,000,000	
Westpac	A-1+	Held to Maturity	Term Deposit	18/06/2024	17/06/2025	364	5.12%	8,000,000	
NAB	AA-	Held to Maturity	Term Deposit	28/06/2024	1/07/2025	368	5.45%	6,000,000	
Westpac	AA-	Held to Maturity	Term Deposit	8/03/2023	10/03/2026	1098	4.70%	2,000,000	
TOTAL								5.10%	\$ 150,000,000

Investment Type: Floating Rate Note, Fixed Rate Bond

Financial Institution	S&P Credit Rating	IFRS Classification	Investment Type	Investment Date	Maturity Date	No of Days	Interest Rate	Purchase Value	# Maturity Value
NAB	AA-	Held to Maturity	Fixed Rate Bond	4/11/2022	30/05/2025	938	3.90%	1,000,000	1,000,000
Bendigo	BBB+	Held to Maturity	Floating Rate Note	19/01/2023	2/12/2025	1048	BBSW+0.52%	4,000,000	4,000,000
Bendigo	BBB+	Held to Maturity	Floating Rate Note	15/05/2023	15/05/2026	1096	BBSW+1.25%	3,000,000	3,000,000
Suncorp	A-1	Held to Maturity	Floating Rate Note	19/01/2023	15/09/2026	1335	BBSW+0.48%	5,000,000	5,000,000
NAB	AA-	Held to Maturity	Fixed Rate Bond	4/03/2024	25/02/2027	1088	2.90%	5,000,228	5,241,000
CBA	AA-	Held to Maturity	Floating Rate Note	18/10/2022	18/08/2027	1765	BBSW+1.02%	1,000,000	1,000,000
ANZ	AA-	Held to Maturity	Floating Rate Note	8/11/2022	4/11/2027	1822	BBSW+1.20%	4,000,000	4,000,000
TOTAL								\$ 23,000,228	\$ 23,241,000

Floating Rate Notes can be purchased at a premium or a discount. The difference between the Purchase Value and Market Value is recognised by Council on a monthly basis as interest.

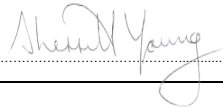
Investment Type: On Call, On Hold

Financial Institution	S&P Credit Rating	IFRS Classification	Investment Type	Date Invested	Due Date	No of Days	Interest Rate	Market Value at 30 June 2024
NAB	A-1+	N/A	On Call	N/A	N/A	N/A	4.65%	26,925,209
Westpac	A-1+	Held to Maturity	On Hold		90 Day Maturity		5.10%	5,625,140
TOTAL								\$ 32,550,349
TOTAL INVESTMENT REGISTER								\$ 205,791,349

Comparative Rates

RBA Cash Rate: 4.35%
BBSW: 4.45%

I, Sherrill Young, Tamworth Regional Council Manager of Financial Services (Responsible Accounting Officer) certify as required under Section 16(1)(b) of the Local Government (Financial Management) Regulations 1999, that Council's investments have been made in accordance with the Local Government Act 1993, Regulations and Tamworth Regional Council Investment Policy.

Signed.....


Investment By Rating (excluding cash accounts)

S&P Credit Rating				Maturity				
Long Term	Short Term	Portfolio Limit	Counterparty Limit	Bank	Amount invested as at 30 June 2024 (\$)	% of Total Investments	Less than 12 months (\$)	One to five years (\$)
AAA	A-1+	100%	100%			0.00%		
AA+ to AA-	A-1+	100%	100%	ANZ	4,000,000	2.31%	-	4,000,000
				CBA	37,000,000	21.39%	36,000,000	1,000,000
				NAB	58,000,228	35.12%	47,000,000	11,000,228
				Westpac	55,000,000	31.79%	53,000,000	2,000,000
A+ to A	A-1	100%	30%	Suncorp	5,000,000	2.89%	-	5,000,000
A-	A-2	40%	20%	Bendigo	7,000,000	4.05%		7,000,000
				BOQ	7,000,000	4.05%	7,000,000	-
BBB+	A-2	30%	10%	Australian Unity	-	0.00%	-	-
						0.00%		
					\$ 173,000,228	102%	\$ 143,000,000	\$ 30,000,228

The General Manager or his delegated representative is authorised to approve variations to Council's investment policy if the investment is to Council's advantage or due to revised legislation.

Council's investments are mostly comprised of restricted funds that have been received for specific purposes or funds held for future renewal works. The following table provides an indicative summary of investments held by each fund. The figures provided are based on opening balances from the last completed and audited financial year. The figures provide a guide on the proportion of total cash that is restricted in use:

Investments Held by Fund (including cash accounts)

Fund	Restriction	Amount	%
General	Unrestricted	6,432,278	3.13%
General	Internally Restricted	55,419,506	26.93%
General	Externally Restricted	25,202,634	12.25%
General Fund Total		\$ 87,054,418	42.30%
Water	Unrestricted	2,018,350	0.98%
Water	Internally Restricted	15,824,269	7.69%
Water	Externally Restricted	20,390,510	9.91%
Water Fund Total		\$ 38,233,129	18.58%
Sewer	Unrestricted	2,045,647	0.99%
Sewer	Internally Restricted	60,694,992	29.49%
Sewer	Externally Restricted	17,763,163	8.63%
Sewer Fund Total		\$ 80,503,802	39.12%
Total Investments		\$ 205,791,349	100.00%

June 2024 - Monthly Budget Variations

Description	Reason	Budget Variation	Revenue	Reserves	Grants Contributions	Loans
Entertainment Venues						
TRECC - Air Conditioning	Urgent Works	9,000	0	9,000	0	0
	Sub Total	9,000 ↓	0	9,000 ↓	0	0
Financial Services						
Governance	Bank Tender	9,000	9,000	0	0	0
	Sub Total	9,000 ↓	9,000 ↓	0	0	0
Central Northern Regional Library						
Digitization Van - Inc	New Grant	(199,716)	0	0	(199,716)	0
	Sub Total	(199,716) ↑	0	0	(199,716) ↑	0
Learning Communities						
Library after hours access	New Grant	(191,520)	0	0	(191,520)	0
	Sub Total	(191,520) ↑	0	0	(191,520) ↑	0
Community Safety and Wellbeing						
Noxious Weeds	New Grant	0	0	0	(47,800)	0
Noxious Weeds	New Grant	0	0	0	47,800	0
	Sub Total	0	0	0	0	0
Future Communities						
Woolbrook Hall & Park Committee	Kitchen Contribution	1,216	0	0	1,216	0
Woolbrook Hall & Park Committee	Kitchen Contribution	(1,216)	0	0	(1,216)	0

June 2024 - Monthly Budget Variations

Description	Reason	Budget Variation	Revenue	Reserves	Grants Contributions	Loans
	Sub Total	0	0	0	0	0
Plant, Fleet & Buildings						
30-32 Bridge St - Stormwater Pit	Emergency works	19,000	0	19,000	0	0
	Sub Total	19,000 ↓	0	19,000 ↓	0	0
Sports & Recreation Services						
Sports Dome - Exit/Emergency light	New Project	8,865	0	8,865	0	0
Tamworth Riverside 3 Lighting	Increased Costs	46,613	0	63,652	(17,039)	0
Tamworth Riverside 3 Lighting	Approved Grant trsf	17,039	0	0	17,039	0
	Sub Total	72,517 ↓	0	72,517 ↓	0	0
Projects & Operations						
Tamworth Primary Pedestrian access	Inc Grant Exp	124,996	0	0	124,996	0
TfNSW School Pedestrian Project	Grant increase	(124,996)	0	0	(124,996)	0
Timber Bridge Replacement - Round 4	Dec Expenditure	(1,221)	0	(1,221)	0	0
Halls Creek - Hidden Bridge Replacement - NSW Gov Inc	Inc Decrease	1,000	0	1,000	0	0
Piallamore - Fishers Bridge Replacement - NSW Gov Inc	Inc Decrease	221	0	221	0	0
Goonoo Goonoo Road Shared Path -Exp	Exp Increase	3,844	0	3,844	0	0
Victoria Park Shared Path-Piper St to Mens Shed-Inc	Project Cancelled	465,393	0	0	465,393	0
Victoria Park Shared Path-Piper St to Mens Shed-Exp	Project Cancelled	(465,393)	0	0	(465,393)	0
Forest Road Shared Path Design	Exp Increase	5,161	0	5,161	0	0
Kootingal to Moonbi Shared Path Design	Exp Increase	714	0	714	0	0
Car Park Equipment Upgrade	Project Cancelled	(40,000)	0	(40,000)	0	0
AELEC Jack Smyth Drive Car Park - Reseal	Exp Increase	20,000	0	20,000	0	0
REPAIR - Stabilise - Main Road 132 - Inc	Exp Increase	54,996	0	0	54,996	0

June 2024 - Monthly Budget Variations

<i>Description</i>	<i>Reason</i>	<i>Budget Variation</i>	<i>Revenue</i>	<i>Reserves</i>	<i>Grants Contributions</i>	<i>Loans</i>
Duri-Dungowan Road Upgrade - Fixing Local Roads - Exp	Exp Decrease	(41,767)	0	(41,767)	0	0
Drainage Levy Works	Exp Decrease	(68,316)	0	(68,316)	0	0
Mitchell Street stormwater upgrade works	Crct Funding	0	0	68,316	(68,316)	0
Sub Total		(65,368) ↑	0	(52,048) ↑	(13,320) ↑	0
Waste Management						
New Landfill Western Void	Exp Decrease	(7,000)	0	(7,000)	0	0
DrumMuster Cage - Exp	New Cage	14,000	0	7,000	7,000	0
DrumMuster Cage - Inc	Grant Contrib	(7,000)	0	0	(7,000)	0
Sub Total		0	0	0	0	0
Water & Wastewater						
T152/2021 Pivots Damages	Income Increase	(102,000)	0	(102,000)	0	0
Purchase - 16-32 Calala Lane	Exp increase	2,063	0	2,063	0	0
Sewer Land Adjacent to Airport	Income Increase	(6,049)	(6,049)	0	0	0
3.5ML Storage at Kootingal Twins	Exp increase	16,026	0	16,026	0	0
Hills Plain CNCL Cont - Upsize	Expense Increase	32,341	0	0	32,341	0
Sub Total		(57,619) ↑	(6,049) ↑	(83,911) ↑	32,341 ↓	0
Grand Total		(404,706) ↑	2,951 ↓	(35,442) ↑	(372,215) ↑	0